



**County Commissioners Hearing Room**  
**MEETING TO BE HELD VIRTUALLY via CONFERENCE CALL**

**AGENDA**  
January 7, 2021  
1:30 p.m.

*COVID-19 Special Announcement Regarding Meeting Attendance*

In response to the State of Emergency, individuals must refrain from attending meetings. Planning Commission meetings are live streamed (<https://www.kentcounty.com/commissioners/meeting-live-video>), and citizens may call in with questions when the Chair opens the floor for comment.

To participate via Microsoft Teams:

1. Call **1-872-239-8359**
2. Enter Conference ID: **862 246 781#**

To participate via the Kent County Conference Bridge service:

1. Call **410-810-2213**
2. Enter PIN number **55266** when prompted.

Please mute your phone / device until the Commission Chair opens the floor for comment.

**ELECTION OF CHAIRMAN**

**MINUTES**

December 3, 2020

**APPLICATIONS FOR REVIEW**

- 20-38 CK Property Management, LLC (Greenscapes Land Care, LLC) – Major Site Plan Review (Preliminary & Final)**  
11427 Still Pond Road – Second Election District – Crossroads Commercial “CC” ..... PC Decision  
(Staff: Rob Tracey)
- 20-12 Chester River Yacht & Country Club – Major Site Plan (Final)**  
7738 Quaker Neck Road, Chestertown – Seventh Election District – Critical Area Residential “CAR” ... PC Decision  
(Staff: Carla Gerber)
- 20-24 Delmarva Power and Light Company – Major Site Plan (Final)**  
509 Morgnec Road, Chestertown – Fourth Election District – Zoned Commercial “C” ..... PC Decision  
(Staff: Rob Tracey)
- 20-41 Great Oak Manor – Site Plan Review (Concept)**  
10568 Cliff Road – Sixth Election District – Zoned Critical Area Residential “CAR” ..... PC Review  
(Staff: Carla Gerber)

**GENERAL DISCUSSION**

Amendments to Planning Commission Bylaws

**STAFF REPORTS**

**ADJOURN**

Meetings are conducted in Open Session unless otherwise indicated. All or part of the Planning Commission meetings can be held in closed session under the authority of the MD Open Meetings Law by vote of the members. Breaks are at the call of the Chairman. Meetings are subject to audio and video recordings.

Projects will not be reviewed prior to their scheduled time. All applications will be given the time necessary to assure full public participation and a fair and complete review of all projects. Therefore, the time each application is heard may be later than the time indicated on the agenda. Agenda items are subject to change due to cancellations.

Other business without assigned times may be discussed during the meeting.



## MINUTES

The Kent County Planning Commission met in regular session on Thursday, December 3, 2020, virtually in the County Commissioners' Hearing Room at 400 High Street, Chestertown, Maryland, with the following members attending via audio/video conference: Elizabeth Morris, Chairman; William Sutton, Vice Chairman; F. Joseph Hickman; Kim Kohl; County Commissioner P. Thomas Mason; B. Douglas Megargee; and James Saunders; Cynthia L. McCann, Esq., Planning Commission Attorney; Staff in attendance were Carla Gerber, GIS Specialist; William Mackey, Director; Robert Tracey, Community Planner; and Brian Jones, Clerk.

Ms. Morris called the meeting to order at 1:30 p.m.

## MINUTES

The minutes of the November 6, 2020, meeting were approved with corrections.

### APPLICATIONS FOR REVIEW:

#### **20-38 CK Property Management, LLC (Greenscapes Land Care, LLC) – Major Site Plan Review (Concept)**

Present and duly sworn in were, Mr. Jay Silcox, and the applicant, Mr. Casey Hurd.

Mr. Tracey gave a brief overview of the proposal, citing relevant issues, the applicable laws, and staff comments.

Mr. Tracey said the applicant is requesting concept site plan review to expand his grounds care business and to perform site improvements to include new employee and trailer parking areas, stone access road, new bulk material storage bins, and a new equipment storage shed. The 2.88-acre property, located between Worton and Kennedyville, is in the Second Election District.

Mr. Tracey said a citizen participation letter was sent out and no comments were received.

Mr. Tracey further noted that to receive final approval, the applicant must address and/or submit the following outstanding items:

- Completed forest conservation plan.
- Sediment and erosion control and stormwater management plans must be approved by the Kent Soil and Water Conservation District.
- Sureties for stormwater management, sediment and erosion control, and forest conservation must be submitted.

Ms. Morris asked if any correspondence has been received.

Mr. Tracey said no correspondence has been received.

Mr. Hurd provided an overview of the project.

Mr. Megargee asked if any comments had been received from neighboring properties.

Mr. Hurd said he has not received any comments.

No public input was received.

## GENERAL DISCUSSION

### Zoning Text Amendment (CHR 8-2020) – Establishment of Critical Area Line

Ms. Gerber gave an overview of the proposed amendment.

After further discussion, Mr. Hickman made a motion to send a favorable recommendation to the Kent County Board of Commissioners.

Ms. Kohl seconded the motion, the motion passed unanimously.

### Zoning Text Amendment (CHR 9-2020) – Amendments to Forest Conservation Provisions

Ms. Gerber gave an overview of the proposed amendment.

After further discussion, Mr. Hickman made a motion to send a favorable recommendation to the Kent County Board of Commissioners.

Mr. Sutton seconded the motion, the motion passed unanimously.

### Chairman Election in January

Members of the commission thanked Chairperson Liz Morris for her many years of service.

A discussion ensued regarding ex-officio members voting at planning commission meetings.

After discussion, there was a consensus to have Ms. McCann draft a proposed change to the by-laws and place it on the agenda for review at the next Planning Commission meeting. The consensus was to be consistent with the county code provision and to incorporate that provision into the *Planning Commission By-Laws* to maintain the ex-officio member being a non-voting member.

Ms. Kohl asked about filling the empty seat on the Planning Commission and if there was diversity considered when filling positions.

Mr. Mackey said diversity was considered and that he would be interviewing perspective candidates.

## STAFF REPORTS

Carla Gerber:

- Working on various projects.
- Final numbers of the census have not been announced yet.
- There has been an uptick in building permits and Rob has done a good job of handling the workload.

Mr. Tracey:

- Continue to work on various projects.
- Continue to review and issue building permits.

Mr. Mackey:

- Presented a signed certificate of recognition for Chairperson Morris from the Kent County Board of Commissioners for many years of dedicated service to the Planning Commission.

## ADJOURN

There being no further business for the good of the organization, the meeting adjourned at 2:29 p.m.

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Elizabeth Morris, Chairman

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Brian Jones, Clerk

DRAFT



## Kent County Department of Planning, Housing, and Zoning

To: Kent County Planning Commission  
From: Rob Tracey, Community Planner  
Meeting: January 7, 2021  
Subject: Greenscapes Land Care, LLC  
Preliminary and Final Site Plan Review

### EXECUTIVE SUMMARY

#### **Request by Applicant**

The applicant is requesting preliminary and final site plan review to expand his grounds care business and to perform site improvements to include new employee and trailer parking areas, stone access road, new bulk material storage bins, and a new equipment storage shed. The 2.88-acre property, located between Worton and Kennedyville, is in the Second Election District.

#### **Public Process**

Per Maryland State Law and Article VI, Section 5 of the Kent County *Land Use Ordinance* the Planning Commission shall review and approve Major Site Plans.

#### **Summary of Staff Report**

The property is zoned Crossroads Commercial “CC,” and the parcel is comprised of an open field that is adjacent to the applicant’s existing facility. The surrounding area is a mix of agricultural land and residential development.

The applicant has sufficiently addressed all the preliminary and final site plan standards as prescribed by the Kent County Land Use Ordinance.

#### **Recommendation**

Staff recommends granting final site plan approval conditioned upon:

- Approval of the sediment and erosion control and stormwater management plans.
- Submission and approval of sureties for sediment and erosion control, stormwater management, and landscaping.
- Payment of \$6,887.02 into the Kent County Forest Conservation Fund.

## PRELIMINARY STAFF REPORT

TO: Kent County Planning Commission  
SUBJECT: Greenscapes Land Care, LLC  
Preliminary and Final Site Plan Review  
DATE: December 29, 2020

### DESCRIPTION OF PROPOSAL

The applicant is requesting preliminary and final site plan review to expand his grounds care business and to perform site improvements to include new employee and trailer parking areas, stone access road, new bulk material storage bins, and a new equipment storage shed. The 2.88-acre property, located between Worton and Kennedyville, is in the Second Election District.

The property is zoned Crossroads Commercial “CC,” and the parcel is comprised of an open field that is adjacent to the applicant’s existing facility. The surrounding area is a mix of agricultural land and residential development.

### GENERAL STANDARDS

#### I. Density, Height, Width, Bulk, and Fence Requirements

- A. *Comprehensive Plan*: “Insure that all new development or redevelopment meets a high standard of planning, workmanship, and design.” (Page 21)
- B. *Applicable Law*: Article V, Section 10.5 of the Kent County Land Use Ordinance establishes the Density, Height, Width, Bulk, and Fence Requirements.
- C. *Staff and TAC Comments*: The proposed site improvements and structures meet the minimum setback requirements as outlined in the Land Use Ordinance.

#### II. Crossroads Commercial General Standards

- A. *Applicable Law*: Article V, Section 10.6 of the Kent County *Land Use Ordinance* establishes the Crossroads Commercial General Standards.
- B. *Staff and TAC Comments*:
  - The property is served by onsite water and sewer.
  - No signage is proposed at this time.
  - The applicant meets all parking and loading requirements. The applicant proposes to install an access road to connect with the existing parking area on lot 1.

#### III. Crossroads Commercial Specific Design Standards

- A. *Applicable Law*: Article V, Section 10.8B of the Kent County *Land Use Ordinance* establishes the design standards which address site access, landscaping, screening, and lighting.

Screening is required to protect adjoining properties and roadways from noise, glare, and uses which are visually incompatible with neighboring land uses. Screening is also required where exterior storage areas are visible from roadways, sidewalks, or nearby residential properties, or where the Planning Commission determines that additional screening is necessary to protect properties in the area. When

required, the screen shall be capable of providing year-round screening and consist of coniferous and deciduous trees and plants.

B. *Staff and TAC Comments:*

The access to the project is adequate and the roads which will be impacted have the capacity to handle the traffic generated by the business and will not endanger the safety of the general public. Onsite vehicular circulation appears to promote clearly defined access to the material storage units and greenhouse. Access by unauthorized vehicles is limited by a gate at the entrance to the site.

A landscaping plan has been submitted. The proposed plan consists of 99 Leyland Cypress planted in two rows along the north, west, and south property lines. The proposed screening will adequately protect adjoining properties and roadways from noise and glare. Lighting is not proposed with this project.

IV. Commercial Environmental Standards

A. *Applicable Law.* Article V, Section 10.7 of the Kent County *Land Use Ordinance* establishes the Crossroads Commercial Environmental Standards, which include forest conservation and stormwater management. The purpose of these standards is to provide for the proper stewardship of the County's natural resources. Specially, it is the overall goal of the County to maintain the quality of the County's ecosystem in the face of continuing activity, growth and change.

B. *Staff and TAC comments:*

A Forest Conservation worksheet has been submitted. The project site is comprised of 2.88 acres and the required afforestation is 0.432 acres or 18,818 square feet. The applicant has proposed to meet afforestation requirements by paying into the Kent County Forest Conservation fund at a rate of 36.6 cents per square foot of required afforestation. At this time, the \$6,887.02 payment has not been received.

Sediment and erosion control and stormwater management plans have not been approved at this time but have been submitted for review. The appropriate cost estimates and sureties are required.

V. Parking and Loading

A. *Applicable Law:* Article VI, Section 1.3 of the Kent County *Land Use Ordinance* establishes the parking standards for industrial uses based on 1 parking space per 2 employees in the principal shift.

B. *Staff and TAC Comments:* The applicant meets all parking and loading requirements.

**SITE PLAN REVIEW**

A. *Comprehensive Plan.* "Insure that all new development or redevelopment meets a high standard of planning, workmanship, and design." (Page 21)

"Coordinate project review with the incorporated towns." (Page 19)

"Require developers to work with a citizen's participation program." (Page 18)

B. *Applicable Law:* Article VI, Section 5 of the Kent County *Land Use Ordinance* establishes the procedures and requirements for site plan review. Site Development Plans are required to ensure that new development complies with the Comprehensive Plan, Land Use Ordinance, Village Master Plans and

other agency requirements, thereby promoting the health, safety, and general welfare of Kent County residents.

At each stage of review the Planning Commission shall review the site plan and supporting documents taking into consideration the reasonable fulfillment of the following objectives:

- a. Conformance with the Comprehensive Plan and, where applicable, the Village Master Plan.
- b. Conformance with the provisions of all applicable rules and regulations of county, state, and federal agencies.
- c. Convenience and safety of both vehicular and pedestrian movement within the site and in relationship to adjoining ways and properties.
- d. Provisions for the off-street loading and unloading of vehicles incidental to the normal operation of the establishment, adequate lighting, and internal traffic control.
- e. Reasonable demands placed on public services and infrastructure.
- f. Adequacy of methods for sewage and refuse disposal, and the protection from pollution of both surface waters and groundwater. This includes minimizing soil erosion both during and after construction.
- g. Protection of abutting properties and County amenities from any undue disturbance caused by excessive or unreasonable noise, smoke, vapors, fumes, dust, odors, glare, stormwater runoff, etc.
- h. Minimizing the area over which existing vegetation is to be removed. Where tree removal is required, special attention shall be given to planting of replacement trees.
- i. The applicant's efforts to integrate the proposed development into the existing landscape through design features such as vegetative buffers, roadside plantings, and the retention of open space and agricultural land.
- j. The building setbacks, area, and location of parking, architectural compatibility, signage, and landscaping of the development, and how these features harmonize with the surrounding townscape and the natural landscape.

In addition, the applicant is to provide a narrative that addresses a Citizen Participation Plan and a report with the results.

C. *Staff and TAC Comments:*

- The proposal is consistent with many strategies and goals of the Comprehensive Plan.
- Onsite vehicular circulation appears to promote clearly defined access to the material storage units while also limiting unauthorized vehicles with a gate at the entrance.
- The use will not place an unreasonable demand on public services and infrastructure.
- Parking and loading requirements have been met.
- The property will be served by onsite water. The Kent County Health Department approved this application.
- Stormwater management and sediment control plans have been submitted for review.
- Forest Conservation has been addressed.
- The applicant completed a citizen participation plan.
- Landscaping plans and building renderings have been submitted. Landscaping, comprised of two rows of Leyland Cypress, is proposed along the southern, western, and northern property lines.
- Forest conservation will be addressed by payment of \$6,887.02 into the Forest Conservation Fund. This payment has not been received at this time.

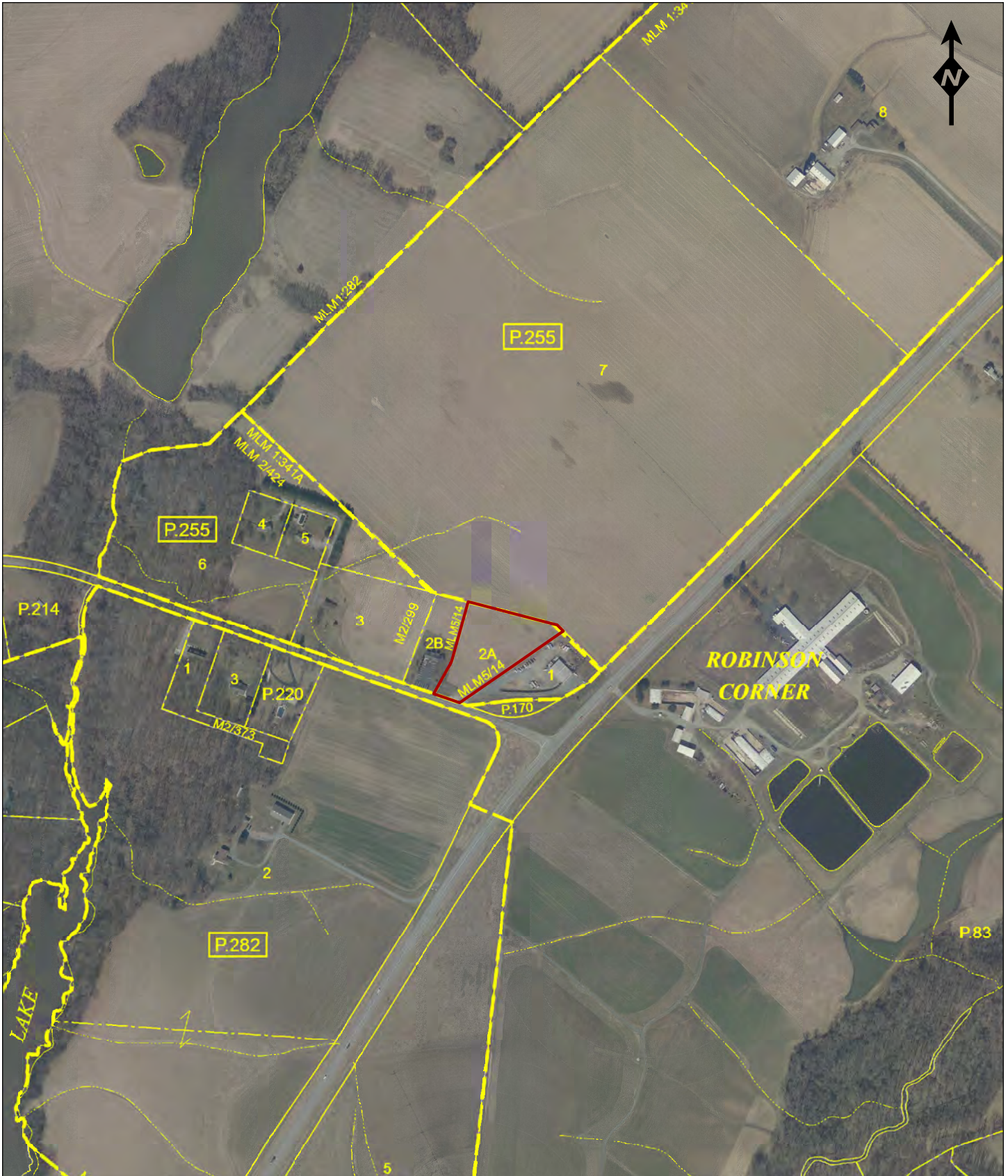


- The building's design and the landscaping of the development include features that will harmonize with the surrounding area and the natural landscape.
- Lighting is not proposed with this project.

### **STAFF RECOMMENDATION**

Staff recommends granting preliminary and final site plan approval conditioned upon:

- Approval of the sediment and erosion control and stormwater management plans.
- Submission and approval of sureties for sediment and erosion control, stormwater management, and landscaping.
- Payment of \$6,887.02 into the Kent County Forest Conservation Fund.





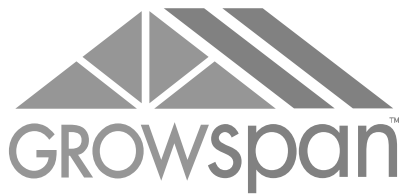
## Narrative

1. Owner- CK Property Management 13031 Rosedale Cannery Rd. Still Pond. MD 21667
2. Property address- LOT 2A 2.881 AC. STILL POND RD W OF KENNEDYVILLE
  - a. Map: 0021 Grid: 0003C Parcel: 0255
3. Zoned- Cross Road Commercial
4. Current use- Commercial- Empty Lot
  - a. Proposed use- Section 10.2 Permitted Principal Uses and Structures, Paragraph 9 - Home and business services, such as grounds care and landscaping and Paragraph 18 - Retail nurseries and greenhouses. The applicant proposes to operate a grounds care and landscaping business out of this location. Greenscapes Land Care, LLC provides landscaping, hardscaping, turf care, excavation, snow removal and other related services.
5. An explanation of the viewshed, *open space*, and conservation analysis undertaken during the design of the site plan:
  - a. Landscaped to prevent poor views
    - i. There will be hedges around the entire property with Leyland Cypress which will grow to 30' tall. These trees will be planted in 2 rows with 8' centers to create a green screen.
  - b. Equipment and parking lot are in rear of property as required
  - c. Material storage in middle of lot in front of access lane
  - d. Construction is clustered together to reduce disturbance
  - e. Open space to be stabilized with grass and landscaping along the perimeter.
6. How the proposed *development* complies with the *Comprehensive Plan* and the design and environmental standards of this Ordinance.
  - a. Not clearing woodland or vegetation
  - b. Varied building massing
  - c. No signage or lights needed
  - d. Landscape screening around entire lot
  - e. Landscape screening to reduce noise pollution
  - f. Landscape and Green House use are permitted uses with in Crossroads Commercial
7. Proposed type of water and sewer service- We will not need water or electric to store materials. Plants will be stored in a Cold House to keep them from frost and wind. Material does not require any type of water
8. Number of employees- Greenscapes Land Care has 30 employees. The material storage and green house would require 1 part time employee.
9. The proposed development schedule and phases of development for all proposed construction. To be completed within 12 months
  - a. Phase 1- Parking Lot
  - b. Phase 2- Storage Bins
  - c. Phase 3- Green House
  - d. Phase 4- Rear parking lot
  - e. Phase 5- Landscape Installation

10. Statement of provisions for ultimate ownership and maintenance of all parts of the development
  - a. Ultimate Ownership – CK Property Management, LLC, leased to Greenscapes Land Care, LLC, a current Kent County business
11. Property not Located in the Critical Area
12. Property not located in the Critical Area
13. A letter will be sent in accordance with the Citizen Participation Plan



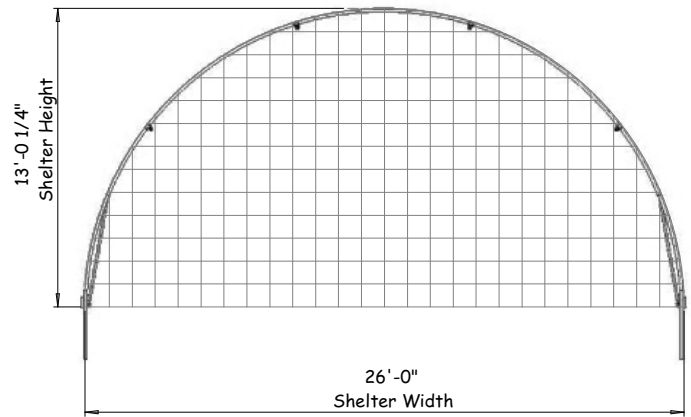
# GROWSPAN™ ROUND COLD FRAMES



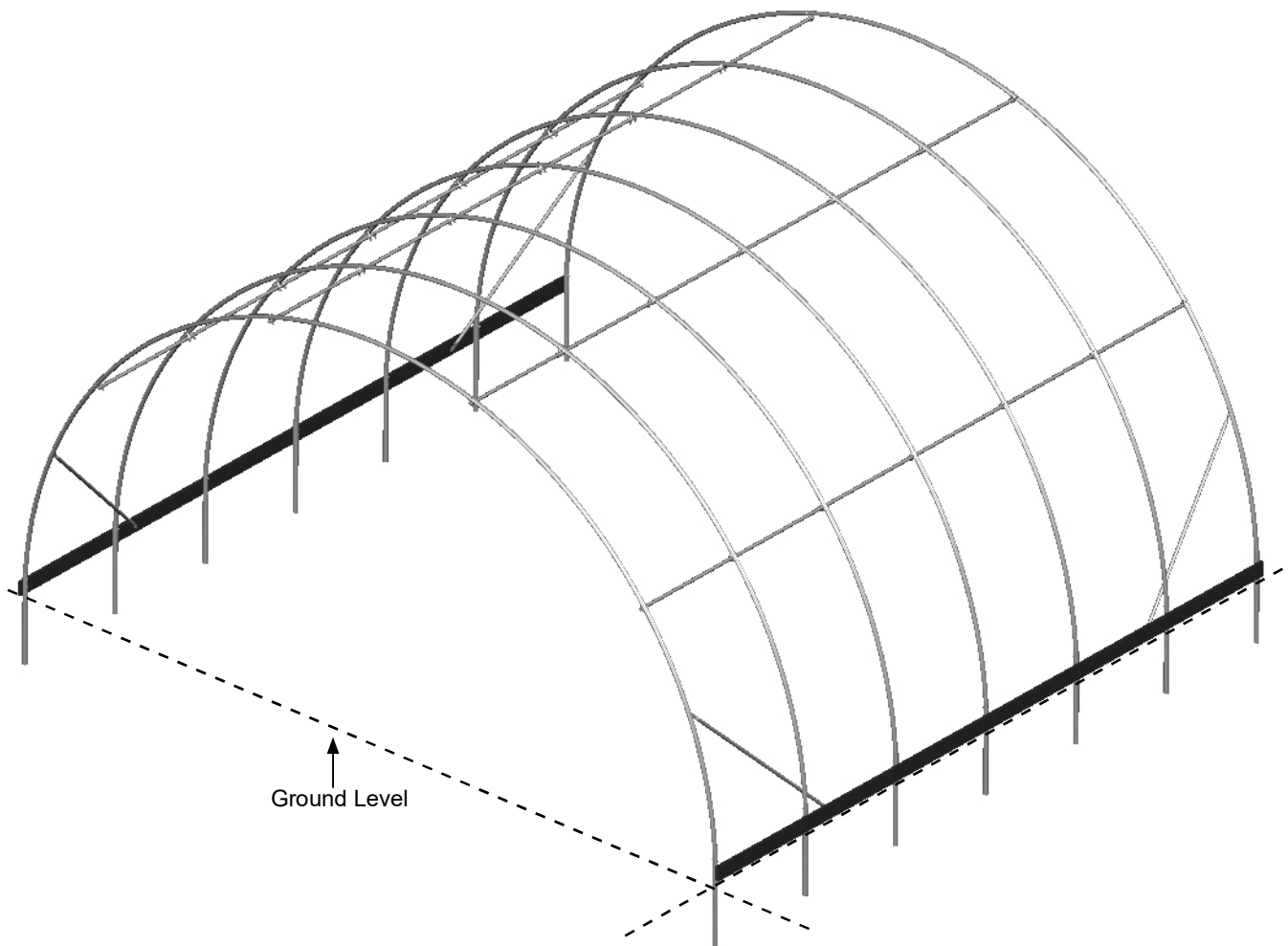
greenhouse structures

## QUICK START GUIDE

26' Wide Round Cold Frame



**FRONT**  
Grid Represents 12" Squares



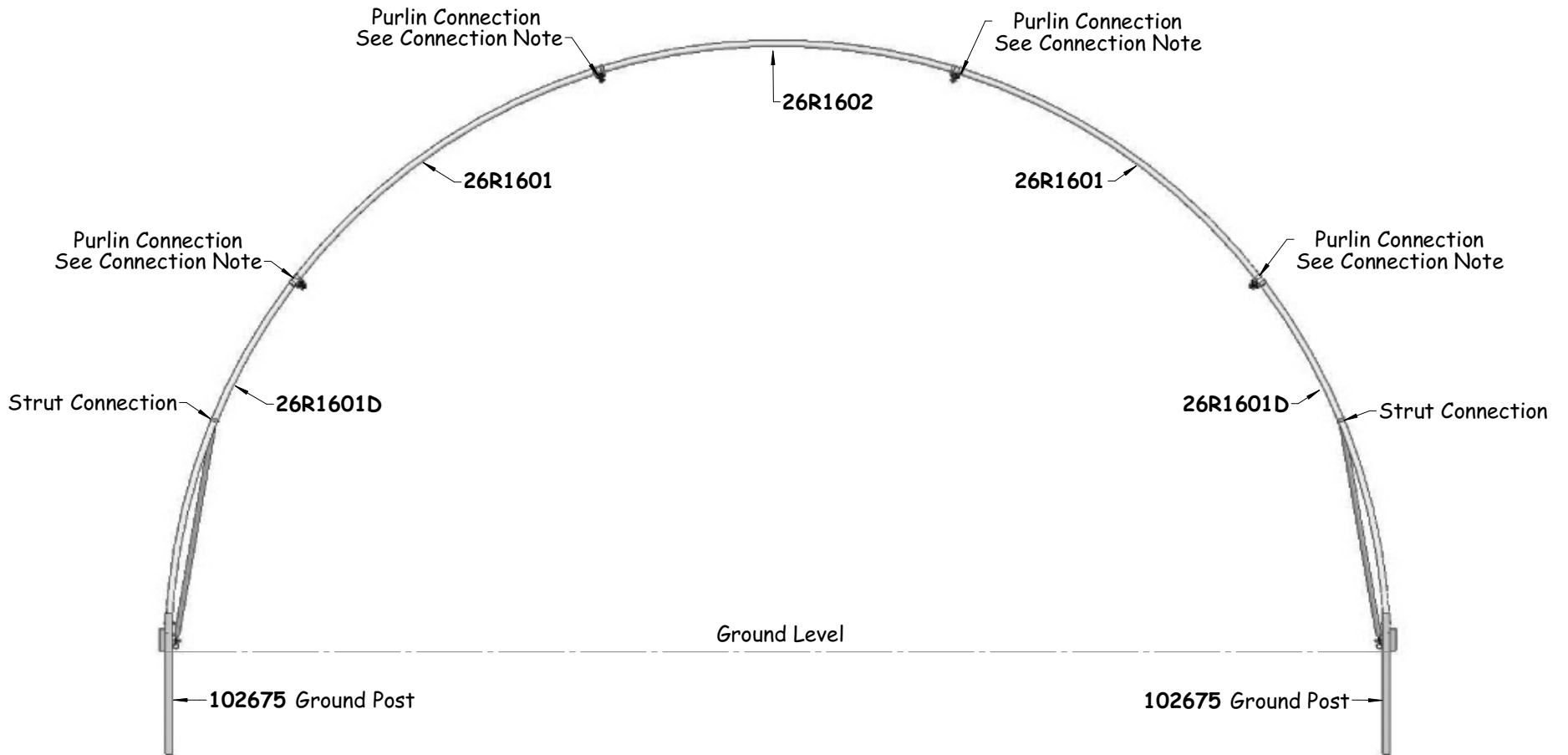
Frame shown may differ in length from actual frame.

# FRONT PROFILE

## Connection Note

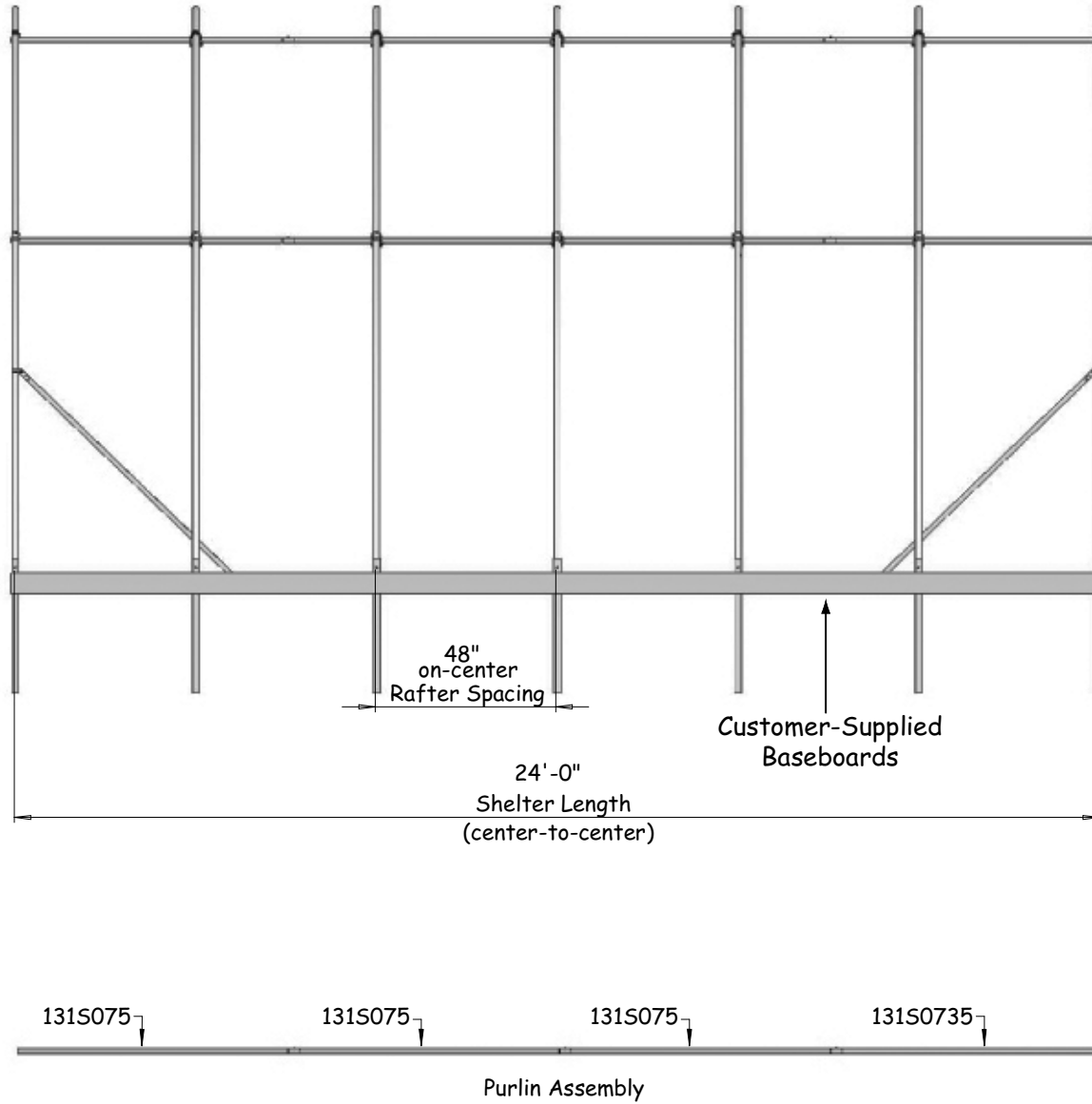
Purlin Connected to end rafters using **102856** clamp.

Purlin Connected to mid rafters using **102548** clamp.

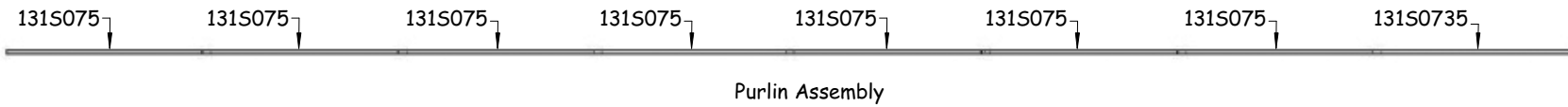
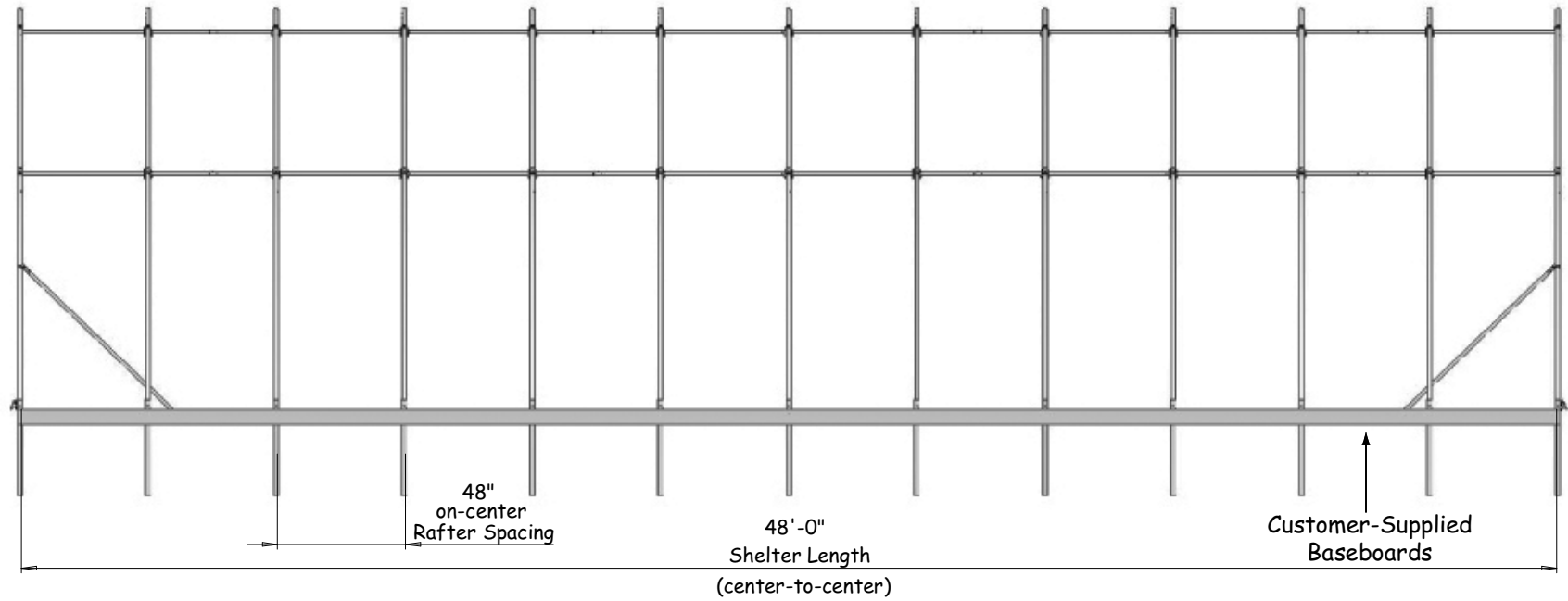




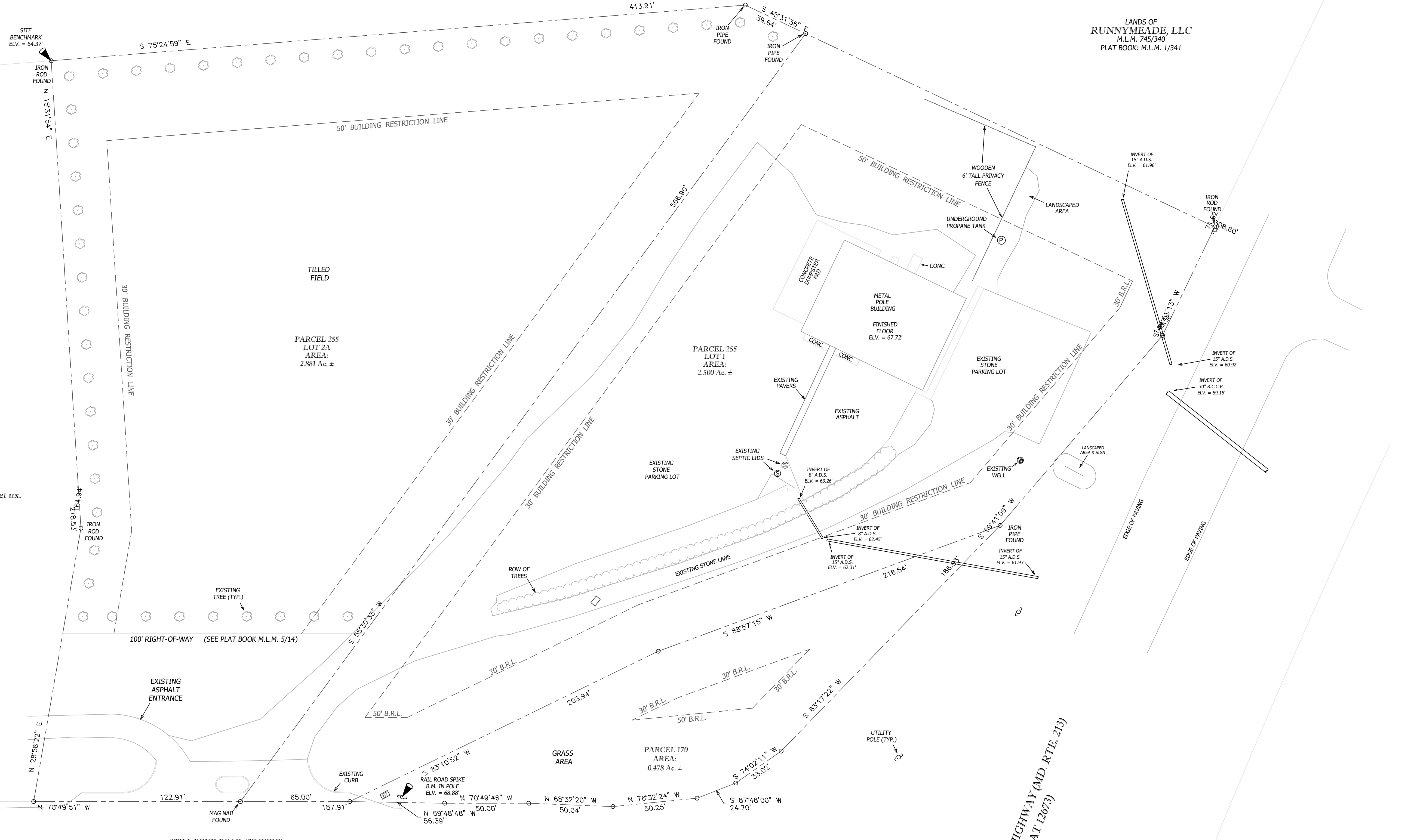
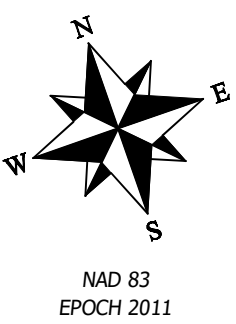
# SIDE PROFILE - 103106



# SIDE PROFILE - 103107







**NOTE:**  
ELEVATIONS SHOWN HEREON ARE BASED ON NAVD 88

**SITE NOTES:**

**PARCEL 255, LOT 1:**  
DEED REFERENCE: M.L.M. 890/449  
PLAT BOOK: E.H.P. 2/37  
PREMISES ADDRESS: 11427 STILL POND ROAD WORTON, MD. 21678

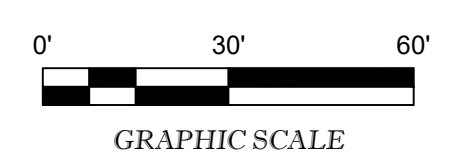
**PARCEL 255, LOT 2A:**  
DEED REFERENCE: M.L.M. 995/127  
PLAT BOOK: M.L.M. 5/14

**PARCEL 170:**  
DEED REFERENCE: M.L.M. 890/449  
PLAT BOOK: E.H.P. 2/129

ALL PARCELS AND LOTS SHOWN HEREON ARE CURRENTLY ZONED CC - CROSSROADS COMMERCIAL

**EXISTING LOT COVERAGE SUMMARY**

Parcel	Lot	Building	Stone & Asphalt	Concrete & Pavers	Total Coverage
PARCEL 255, LOT 1:		4,849 Sq.Ft.	47,672 Sq.Ft.	2,107 Sq.Ft.	54,628 Sq.Ft.
PARCEL 255, LOT 2A:		4,812 Sq.Ft.	52 Sq.Ft.		4,864 Sq.Ft.
PARCEL 255, LOT 2A:		24 Sq.Ft.	24 Sq.Ft.		48 Sq.Ft.
<b>OVERALL SITE:</b>					59,516 Sq.Ft.



*THIS TOPOGRAPHICAL SURVEY WAS EITHER PREPARED BY A LICENSED LAND SURVEYOR OR A LICENSED LAND SURVEYOR WAS IN RESPONSIBLE CHARGE OVER ITS PREPARATION AND THE SURVEYING WORK REFLECTED IN IT, ALL IN COMPLIANCE WITH REQUIREMENTS SET FORTH IN COMAR 09.13.06.12.*

**LEGEND**

	DENOTES BUILDING RESTRICTION LINE
	DENOTES TOP OF BANK
	DENOTES TOE OF BANK
	DENOTES EDGE OF STONE
	DENOTES EXISTING WELL
	DENOTES SEPTIC LID
	DENOTES PROPANE TANK
	DENOTES UTILITY POLE
	DENOTES SPOT ELEVATION
	DENOTES SITE BENCHMARK



12/12/20  
DATE SEAL

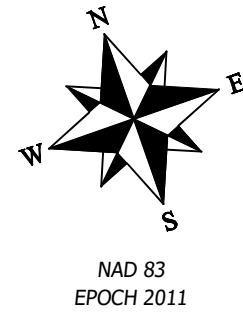
"Professional Certification. I certify that these documents were prepared or approved by me, and that I am a duly licensed engineer under the laws of the State of Maryland, license number 26325, expiration date 06/30/22."

ORIGINAL SUBMITTAL	03/20/20
No.	Revision/Issue Date
Drawn By: JHS	Checked By:

Firm Name and Address  
**Silcox Engineering & Drafting, Inc.**  
 4958 Crosby Road  
 Rock Hall, MD 21661  
 P: 410-699-6093  
 F: 866-505-2731  
 Jay Silcox, P.E.

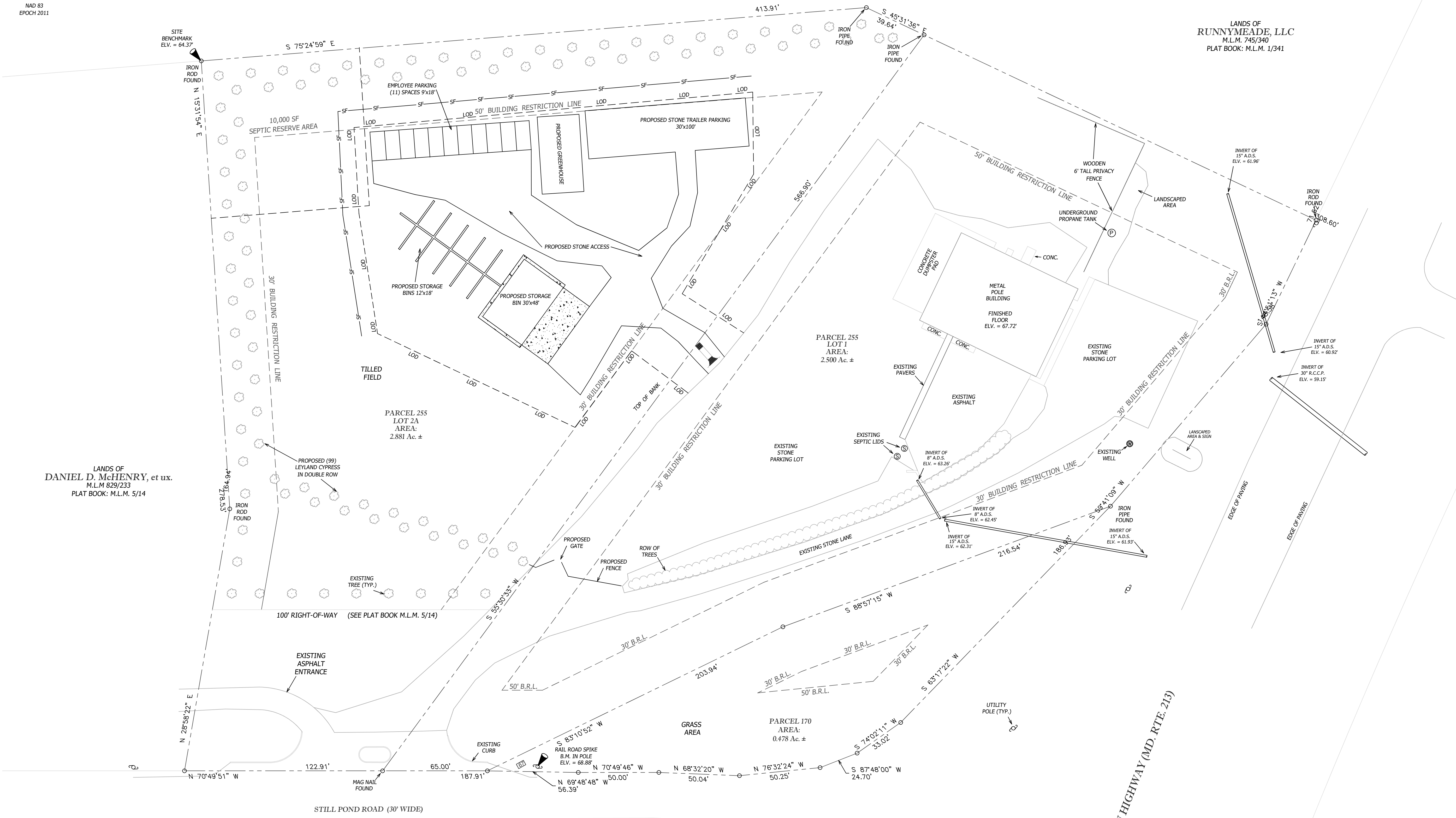
Project Name and Address  
**CK Property Management, LLC**  
 Map - 21 Lots - 1 & 2A  
 Parcel - 255 & 170  
 District - 02  
 Customer Name  
**Greenscapes, LLC**

Sheet <b>Existing</b>	Sheet <b>C-2</b>
Date 03/20/20	Revision
Scale 1" = 30'	



LANDS OF DANIEL D. McHENRY, et ux.  
M.L.M. 829/233  
PLAT BOOK: M.L.M. 5/14

LANDS OF RUNNYMEADE, LLC  
M.L.M. 745/340  
PLAT BOOK: M.L.M. 1/341



NOTE:  
ELEVATIONS SHOWN HEREON ARE BASED ON NAVD 88

SITE NOTES:

PARCEL 255, LOT 1:  
DEED REFERENCE: M.L.M. 890/449  
PLAT BOOK: E.H.P. 2/37  
PREMISES ADDRESS: 11427 STILL POND ROAD  
WORTON, MD. 21678

PARCEL 255, LOT 2A:  
DEED REFERENCE: M.L.M. 995/127  
PLAT BOOK: M.L.M. 5/14

PARCEL 255, LOT 2A:  
DEED REFERENCE: M.L.M. 890/449  
PLAT BOOK: E.H.P. 2/129

ALL PARCELS AND LOTS SHOWN HEREON ARE CURRENTLY ZONED CC - CROSSROADS COMMERCIAL

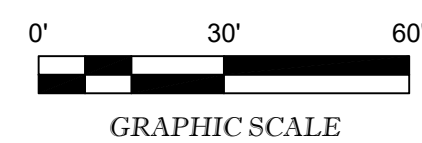
PROPOSED LOT COVERAGE SUMMARY

PARCEL 255, LOT 1:  
BUILDING ..... 4,849 Sq.Ft.  
STONE & ASPHALT ..... 47,672 Sq.Ft.  
CONCRETE & PAVERS ..... 2,107 Sq.Ft.  
TOTAL COVERAGE ..... 54,628 Sq.Ft.

PARCEL 255, LOT 2A:  
STONE & ASPHALT ..... 13,800 Sq.Ft.  
CONCRETE ..... 1,440 Sq.Ft.  
BUILDING ..... 1,248 Sq.Ft.  
TOTAL COVERAGE ..... 16,488 Sq.Ft.

PARCEL 255, LOT 2A:  
STONE & ASPHALT ..... 24 Sq.Ft.  
TOTAL COVERAGE ..... 24 Sq.Ft.

OVERALL SITE:  
TOTAL COVERAGE ..... 71,140 Sq.Ft.



THIS TOPOGRAPHICAL SURVEY WAS EITHER PREPARED BY A LICENSED LAND SURVEYOR OR A LICENSED LAND SURVEYOR WAS IN RESPONSIBLE CHARGE OVER ITS PREPARATION AND THE SURVEYING WORK REFLECTED IN IT, ALL IN COMPLIANCE WITH REQUIREMENTS SET FORTH IN COMAR 09.13.06.12

**LEGEND**

	DENOTES SOILS LINE & TYPE
	DENOTES SILT FENCE
	DENOTES LOD
	DENOTES SCE
	DENOTES BUILDING RESTRICTION LINE
	DENOTES TOP OF BANK
	DENOTES TOE OF BANK
	DENOTES EDGE OF STONE
	DENOTES EXISTING WELL
	DENOTES SEPTIC LID
	DENOTES PROPANE TANK
	DENOTES UTILITY POLE
	DENOTES SPOT ELEVATION
	DENOTES SITE BENCHMARK



12/12/20  
DATE SEAL

"Professional Certification. I certify that these documents were prepared or approved by me, and that I am a duly licensed engineer under the laws of the State of Maryland, license number 26325, expiration date 06/30/22."

ADJUSTED LOD & PARKING LOCATION	10/20/20	
ORIGINAL SUBMITTAL	09/20/20	
No.	Revision/Issue	Date
Drawn By: JHS	Checked By:	

Firm Name and Address  
**Silcox Engineering & Drafting, Inc.**  
4958 Crosby Road  
Rock Hall, MD 21661  
P: 410-699-6093  
F: 866-505-2731  
Jay Silcox, P.E.

Project Name and Address  
**CK Property Management, LLC**  
Map - 21 Lots - 1 & 2A  
Parcel - 255 & 170  
District - 02  
Customer Name  
Greenscapes, LLC

Sheet Proposed	Sheet C-3
Date 03/20/20	Revision
Scale 1" = 30'	



## PRELIMINARY STAFF REPORT

To: Kent County Planning Commission  
Subject: Chester River Yacht and Country Club  
Site Plan Review – Final – Expansion of Parking Area  
Date: December 29, 2020

### **Description of Proposal**

The applicants wish to increase their onsite parking for an existing Private Club and Golf Course. The expanded parking lot of 32 additional spaces includes impermeable pavers and bituminous concrete. The 175-acre property is located on Quaker Neck Road in the Seventh Election District. The property is currently comprised of a private country club, a golf course, a swimming pool, a pier, a boathouse, and accessory buildings incidental to the maintenance of a private club and golf course. The surrounding area is characterized by single-family residential development and is zoned Critical Area Residential, “CAR”, Community Residential, “CR” and Rural Residential “RR”. The parking lot expansion is entirely within the CAR district.

### **History**

At the April 2, 2020, Planning Commission meeting the Kent County Planning Commission reviewed the concept site plan for 37 parking spaces along with a buffer variance request for 828 square feet of parking area within the 100-foot buffer. The Planning Commission reviewed the site plan and sent a favorable recommendation to the Kent County Board of Appeals. The Board of Appeals granted a buffer variance for 176 square feet of lot coverage within the 100-foot buffer, reducing the proposal to 32 parking spaces. The site plan has been updated in accordance with the approved variance.

Preliminary approval was granted at the November 5, 2020, meeting.

### **Relevant Issues**

#### I. Critical Area Residential Environmental Standards

A. *Comprehensive Plan*: “Encourage comprehensive stormwater management.” (Page 23)

B. *Applicable Law*: Article V, Section 5.7 in the Kent County Land Use Ordinance establishes the Critical Area Environmental Design Standards, which include stormwater and Critical Area standards. The purpose of these standards is to provide for the proper stewardship of the County’s natural resources. Specifically, it is the overall goal of the County to maintain the quality of the County’s ecosystem in the face of continuing activity, growth and change.

Article VI, Section 9 of the Kent County Land Use Ordinance sets forth the provisions for Erosion and Sediment Control and Section 10, Stormwater Management.

C. *Staff and TAC Comments*: A Major Buffer Enhancement Plan is required for the increase in lot coverage and mitigation for the approved variance. The total mitigation requirement is 11,186 square feet and the total provided mitigation proposed is 11,345 square feet. COMAR 27.01.09.01-3 specifies the requirements for Major Buffer Enhancement Plans. These requirements include among other things a maintenance plan and financial assurance.

Mitigation plantings are required to be planted within the 100-foot buffer. The attached plan indicates that some plantings will be placed within the 100-foot buffer, while others will be placed outside of the 100-foot buffer. The Planning Commission found that the part of the Club's charge is a water-dependent use, and it will not be possible to fully establish the buffer in vegetation. However, the Planning Commission requested that plantings be located as close as possible to the buffer. The Buffer Enhancement Plan has been modified to move some of the planting closer to the buffer.

Stormwater and erosion and sediment control plans have been approved. The applicant has provided assurance that a bond can be secured, but in order to reduce carrying costs, the applicant is requesting final approval be conditioned upon providing the bond when a building permit application is submitted.

## II. Parking and Loading Requirements

- A. *Applicable Law:* Article VI, Section 1.3 of the Kent County *Land Use Ordinance* establishes the parking standards. Private clubs require 1 space per 5 members.
- B. *Staff and TAC Comments:* The applicants are increasing the existing parking on site due to the club having insufficient parking areas for members. The club currently has 59 spaces, including 3 handicap spaces, with 32 proposed spaces the total parking spaces onsite will be 91. This will provide for safer parking options for the club.

## III. Site Plan Review

- A. *Comprehensive Plan:* "Implement thorough design review for new development and major renovations." (Page 33)
- B. *Applicable Law:* Article VI, Section 5.3 of the Kent County *Land Use Ordinance* establishes site plan review procedures. The Planning Commission shall prepare findings of fact concerning the reasonable fulfillment of the objectives listed below.
  - a. Conformance with the Comprehensive Plan and, where applicable, the Village Master Plan.
  - b. Conformance with the provisions of all applicable rules and regulations of county, state, and federal agencies.
  - c. Convenience and safety of both vehicular and pedestrian movement within the site and in relationship to adjoining ways and properties.
  - d. Provisions for the off-street loading and unloading of vehicles incidental to the normal operation of the establishment, adequate lighting, and internal traffic control.
  - e. Reasonable demands placed on public services and infrastructure.
  - f. Adequacy of methods for sewage and refuse disposal, and the protection from pollution of both surface waters and groundwater. This includes minimizing soil erosion both during and after construction.
  - g. Protection of abutting properties and County amenities from any undue disturbance caused by excessive or unreasonable noise, smoke, vapors, fumes, dust, odors, glare, stormwater runoff, etc.
  - h. Minimizing the area over which existing vegetation is to be removed. Where tree removal is required, special attention shall be given to planting of replacement trees.
  - i. The applicant's efforts to integrate the proposed development into the existing landscape through design features such as vegetative buffers, roadside plantings, and the retention of open space and agricultural land.



- j. The applicant's efforts to design the development to complement and enhance the rural and historic nature of the County including incorporating into the project forms and materials that reflect the traditional construction patterns of neighboring communities.
- k. The building setbacks, area, and location of parking, architectural compatibility, signage, and landscaping of the development, and how these features harmonize with the surrounding townscape and the natural landscape.

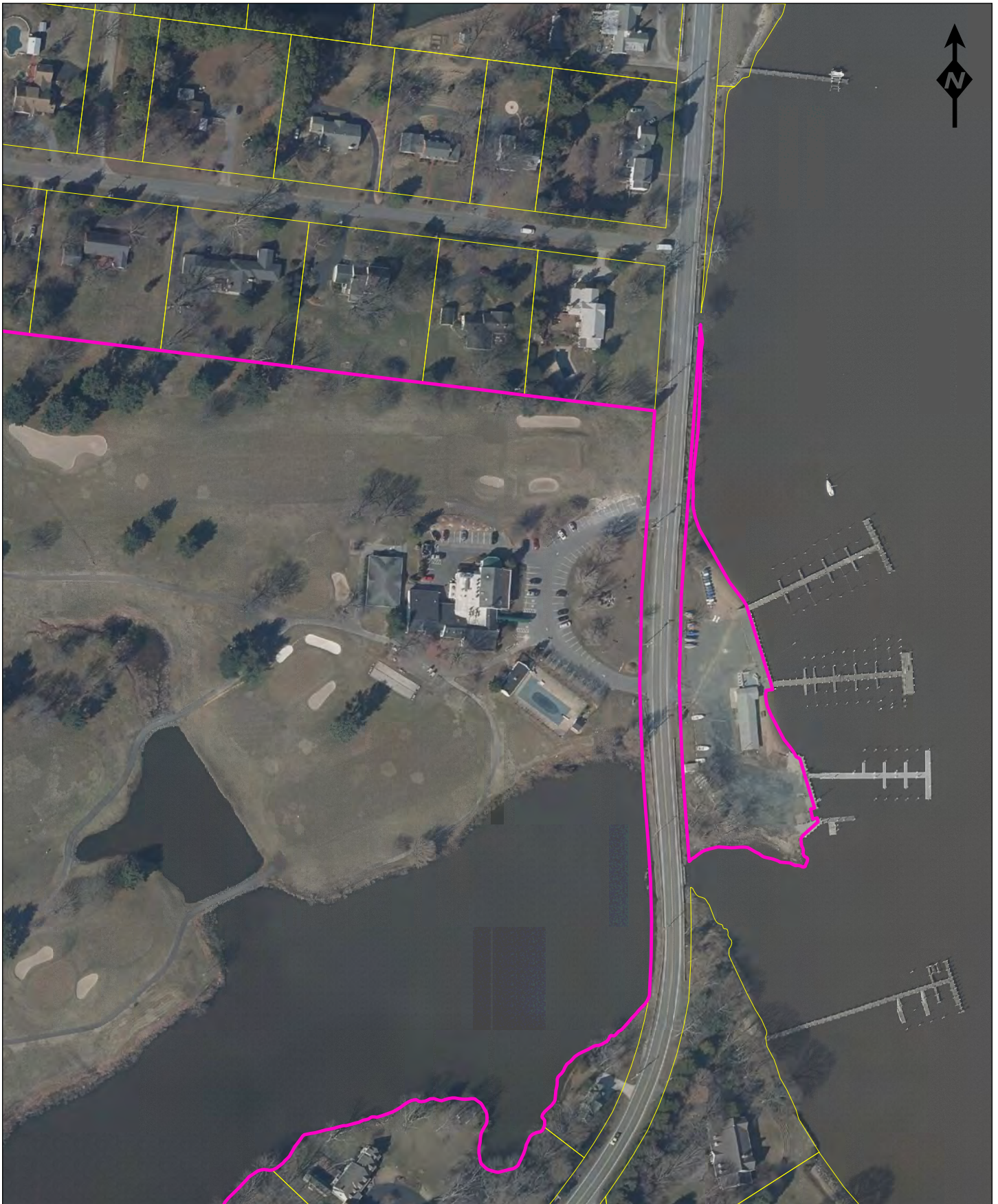
C. *Staff and TAC Comments:*

- The proposal is consistent with strategies and goals of the Comprehensive Plan.
- The Maryland Department of Transportation approved this application and the Critical Area Commission provided comments with the preliminary site plan and variance application.
- The existing sign is proposed to be relocated.
- A lighting plan has been provided, and the two proposed lights will not shine light significantly beyond the parking area.
- This proposal will not increase the demands on water and sewer. The Department of Public Works and the Kent County Health Department have approved this application.
- Stormwater management and erosion and sediment control plans have been approved.
- A Major Buffer Enhancement Plan has been submitted. Some of the plantings have been moved closer to the buffer.
- The proposed parking area should not pose any undue disturbances to neighboring properties.
- A Critical Area Forest Clearing Plan will need to be submitted for the proposed removal of an existing tree.
- The proposed parking area is located adjacent to the existing parking area. Shrubs are proposed to be planted between the parking area and the road.
- A variance was granted by the Board of Appeals on April 20, 2020, for 176-square feet of additional lot coverage within the 100-foot buffer.
- A Citizens' Participation Plan was completed.

**Staff Recommendation**

Staff recommends granting final site plan approval with a condition that all required sureties will be submitted with the building permit application.

# Chester River Yacht and Country Club



Source: Kent County Department of Planning, Housing, and Zoning.  
Aerial taken Spring 2019. Map prepared December, 2020.

1 inch = 200 feet



Davis, Moore, Shearon & Associates, LLC

December 7, 2020

Mr. William Mackey, Planning Director  
Kent County Department of Planning & Zoning  
400 High Street  
Chestertown, Maryland 21620

**RE: FINAL SITE PLAN FOR A PARKING LOT EXPANSION AT THE CHESTER RIVER YACHT & COUNTRY CLUB  
KENT COUNTY TAX MAP 44, PARCEL 15  
DMS & ASSOCIATES JOB #2019034**

Dear Mr. Mackey,

The Chester River Yacht & Country Club is proposing a 32 space parking lot expansion at their existing club property located at 7338 Quaker Neck Road, Chestertown, Maryland. The plans received preliminary site plan approval at the November 2020 Planning Commission meeting. Attached please find the following information in support of the above referenced project:

- One copy of the Site Plan application
- One paper copy of the Final Site Plans
- Review fee check for Final Site Plan of \$200

We ask that you please review this information for placement on the January 7, 2021 Planning Commission agenda for review. If you have questions please call me at 443-262-9130.

Sincerely,

DMS & Associates, LLC

A handwritten signature in blue ink, appearing to read 'Kevin J. Shearon', written over a blue scribble.

Kevin J. Shearon, P.E., LEED AP

Enclosures

pc: Chester River Yacht & Country Club (via email)

**Kent County Department of Planning, Housing and Zoning**

Kent County Government Center  
400 High Street • Chestertown, MD 21620  
410-778-7475 (phone) • 410-810-2932 (fax)

**SITE PLAN APPLICATION**

**File Number:** \_\_\_\_\_ **Amount Paid:** \_\_\_\_\_ **Date:** \_\_\_\_\_

**Project Name:** Chester River Yacht & Country Club (CRYCC) Parking Lot Expansion

District: 7th Map: 44 Parcel: 15 Lot Size: 173.9 Deed Ref: 10/518 Zoning: CAR,CR,RR

**LOCATION:** The property is located at 7738 Quaker Neck Road, Chestertown, Maryland 21620

**PROPOSED USE:** The use as a golf course will continue. This application is for an expanded vehicle parking area.

**OWNER OF LAND:**

Name: Chester River Yacht & Country Club Telephone: (410) 778-3818

Address: 7738 Quaker Neck Road, Chestertown, Maryland Email: dcurran@buytri.com

**APPLICANT:**

Name: (same as owner) Telephone: \_\_\_\_\_

Address: \_\_\_\_\_ Email: \_\_\_\_\_

**AGENT/ATTORNEY (if any):**

Name: \_\_\_\_\_ Telephone: \_\_\_\_\_

Address: \_\_\_\_\_ Email: \_\_\_\_\_

**REGISTERED ENGINEER OR SURVEYOR:**

Name: DMS & Associates (Kevin Shearon) Telephone: (443) 262-9130

Address: P.O. Box 80, Centreville, Maryland 21617 Email: kjs@dmsandassociates.com

**Please provide the email of the one person who will be responsible for responding to comments. Only this person will be contacted by staff and will be the person responsible for forwarding the comments or requests for additional information to any other interested parties. EMAIL:** kjs@dmsandassociates.com

Water Supply:  Public System  On lot system (no additional service needed for this project)

Sewerage:  Public System  On lot system (no additional service needed for this project)

**TELEPHONE SERVICED BY:** Verizon

**ELECTRIC SERVICED BY:** Delmarva Power

**NOTICE:** The Planning Office is not required to make out this Application. If the Planning Department assists you, it cannot be held responsible for its contents.

**Signature of Applicant**

12/7/2020

**Date**

Concept Plan Approving Authority: \_\_\_\_\_ Date: \_\_\_\_\_

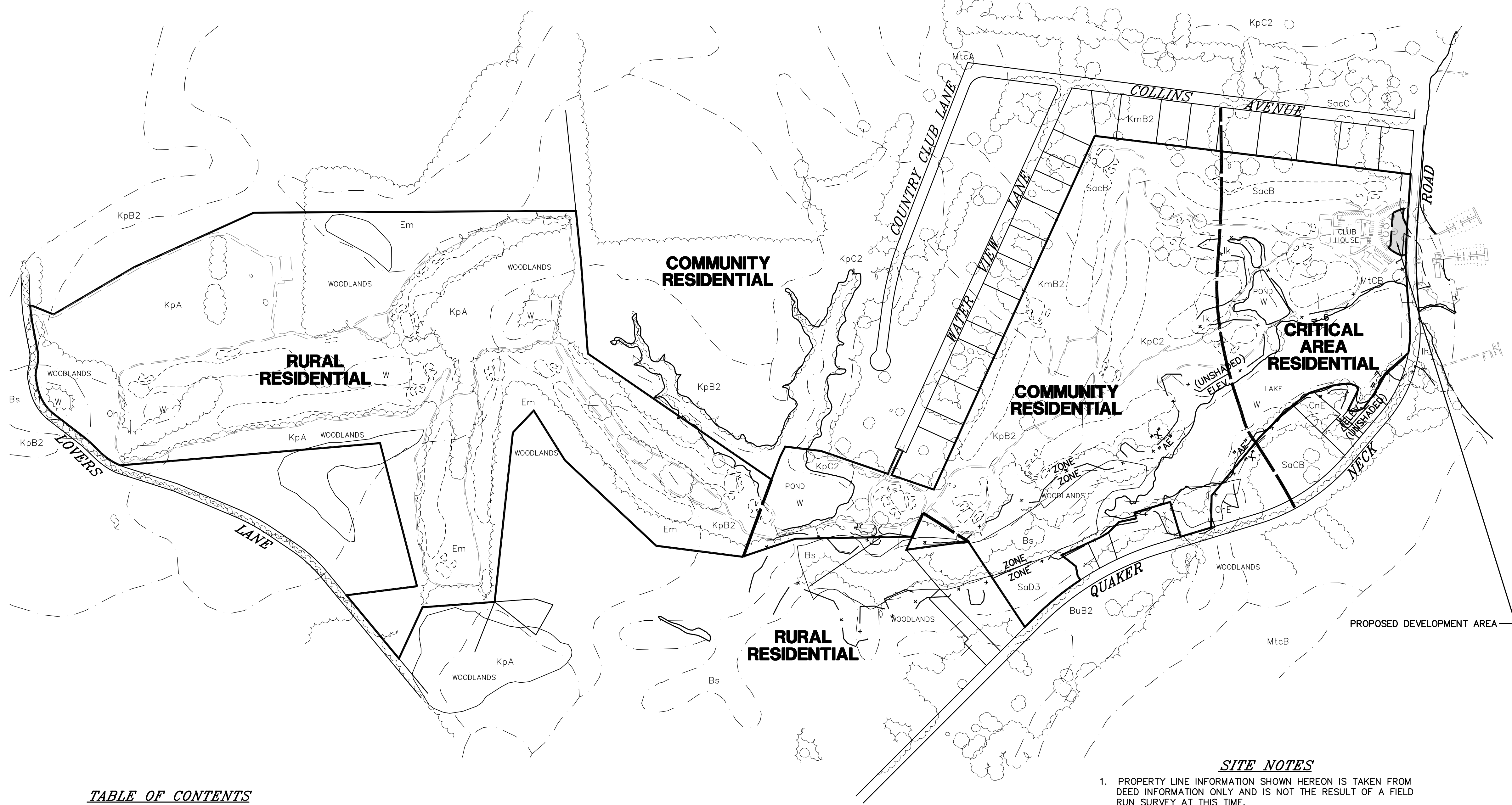
Preliminary Approving Authority: \_\_\_\_\_ Date: \_\_\_\_\_

Final Approving Authority: \_\_\_\_\_ Date: \_\_\_\_\_

# FINAL SITE PLAN ON THE LANDS OF **CHESTER RIVER YACHT & COUNTRY CLUB** 7th ELECTION DISTRICT, KENT COUNTY, MD.



**VICINITY MAP**  
SCALE 1" = 3000'



**GENERAL NOTES**

1. These drawings show information obtained from the best available records regarding pipes, conduits, telephone lines, and other structures and conditions which exist along the lines of the work both at and below the surface of the ground. The owner and engineer disclaim any responsibilities for the accuracy or completeness of said information being shown only for the convenience of the contractor, who must verify the information to his own satisfaction. If the contractor relies on said information, he does so at his own risk. The giving of the information on the contract drawings will not relieve the contractor of his obligations to support and protect all pipes, conduits, telephone lines, and other structures.
2. The contractor shall notify the following two (2) weeks prior to the start of construction and shall coordinate construction with the utility companies involved:  
  
Delmarva Power & Light Company ----- 1-800-375-7117  
Miss Utility ----- 1-800-441-8355  
DMS & Associates, LLC ----- 1-443-262-9130  
Kent Co. Sediment & Erosion Control Inspector - 1-410-778-7437  
Maryland Department of the Environment-----1-410-631-3510
3. All construction shall be marked for traffic and pedestrian safety.
4. The Contractor shall provide all equipment, labor, and materials for any miscellaneous or test pit excavations required by the Engineer.
5. The owner is responsible for the acquisition of all easements, both permanent and temporary.
6. The Contractor assumes all responsibility for any deviations from these plans unless said deviation is approved by the Engineer. Contractor shall receive written permission from the Engineer if a deviation of the plans is necessary.
7. All disturbed areas shall be smoothly graded to provide positive drainage in the direction of flow arrows herein and stabilized with topsoil, seed, and mulch. If settlement occurs, topsoil, seeding, and mulching shall be repeated until settlement subsides (See Erosion and Sediment Control Specifications).
8. All trash, trees, and underbrush are to be cleared and removed off site to an approved dump site by the contractor.
9. Any excess excavated material shall be removed off site by the contractor or material shall be placed on site as directed by the Engineer and/or Owner.
10. Any existing survey monumentation that is disturbed during construction shall be replaced by a registered surveyor at the contractor's expense.
11. The Contractor shall conduct his work in easements so that there will be a minimum of disturbance of the properties crossed. Any disturbed areas shall be restored to its original condition.
12. All materials and methods of construction shall conform to the drawings, specifications, local building codes, and the standard specifications and details of Kent County.
13. All drainage structures and swales shall remain functional during construction unless otherwise indicated on the plans.
14. All water valves, boxes and hydrants shall be set and adjusted to finish grade.
15. Wherever sewer or water mains or services run parallel to each other, a minimum horizontal separation of 10' shall be provided.
16. Minimum cover over the sewer main shall be 42".
17. All concrete used for utility work shall be in accordance with MD SHA Standards and Specifications for Mix No. 2.
18. All paving materials and methods shall be in accordance with the latest MD SHA Standards and Specifications and be supplied by a State Certified plant.
19. Trenches shall not remain open overnight. If it is necessary for trenches to remain open, steel plates capable of bearing traffic shall be used to completely cover the trench openings.
20. Erosion and Sediment Control will be strictly enforced by the Kent County Sediment and Erosion Control Inspector.

**SITE NOTES**

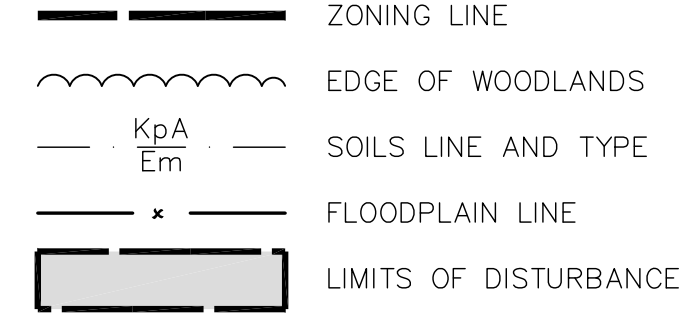
1. PROPERTY LINE INFORMATION SHOWN HEREON IS TAKEN FROM DEED INFORMATION ONLY AND IS NOT THE RESULT OF A FIELD RUN SURVEY AT THIS TIME.
2. FOR DEED REFERENCE, SEE LIBER 10, FOLIO 518.
3. CURRENT ZONING CLASSIFICATION - CRITICAL AREA RESIDENTIAL, COMMUNITY RESIDENTIAL AND RURAL RESIDENTIAL
4. THE PROPERTY IS PARTIALLY LOCATED WITHIN THE CHESAPEAKE BAY CRITICAL AREA DESIGNATION - LDA (LIMITED DEVELOPMENT AREA).
5. SITE IS PARTIALLY LOCATED WITHIN 100 YEAR FLOODPLAIN AS SCALED FROM FLOOD INSURANCE RATE MAP COMMUNITY PANEL No. 240290279D AND 24029C290 (ZONE "AE") (ELEV. = 6 & 7), DATED JUNE 9, 2014.
6. EXISTING IMPROVEMENTS WITHIN THE DEVELOPMENT AREA ARE THE RESULT OF A FIELD RUN SURVEY BY MICHAEL A. SCOTT, INC. IN NOVEMBER, 2019. HORIZONTAL DATUM IS NAD 83/91.
7. EXISTING CONTOURS WITHIN THE DEVELOPMENT AREA ARE THE RESULT OF A FIELD RUN SURVEY BY MICHAEL A. SCOTT, INC. IN NOVEMBER, 2019. VERTICAL DATUM IS NAVD 88.
8. SOILS SHOWN ONSITE CONSIST ARE SCALED FROM THE WEBSITE: <http://websoilsurvey.nrcs.usda.gov> FOR KENT COUNTY.

**STATEMENT OF PURPOSE AND INTENT**

THE SITE IS LOCATED ON THE NORTH SIDE OF QUAKER NECK ROAD, SOUTH OF THE TOWN OF CHESTERTOWN. IT IS THE CURRENT LOCATION OF THE CHESTER RIVER YACHT AND COUNTRY CLUB. THE INTENT OF THIS FINAL SITE PLAN IS TO ADD 32 PARKING SPACES TO THE EXISTING PARKING AREA. A PORTION OF THE NEW PARKING LOT'S TRAVEL LANE (176-sf) IS PROPOSED WITHIN THE 100' SHORE BUFFER WHICH RECEIVED A VARIANCE FROM THE BOARD OF APPEALS ON APRIL 20, 2020 (CASE NO. 20-11).

THE PURPOSE OF THIS FINAL SITE PLAN IS TO OBTAIN APPROVAL FROM THE KENT COUNTY PLANNING COMMISSION FOR THE PROPOSED IMPROVEMENTS ON THE SITE.

**LEGEND**



**OWNER/DEVELOPER:**  
CHESTER RIVER YACHT & COUNTRY CLUB  
7738 QUAKER NECK ROAD  
CHESTERTOWN, MARYLAND 21620  
PHONE No. 1-410-778-3818

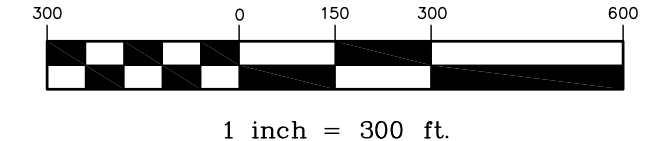
**SURVEYOR**  
MICHAEL A. SCOTT, INC.  
400 SOUTH CROSS STREET, SUITE 3  
CHESTERTOWN, MARYLAND 21620  
PHONE No. 1-410-778-2310

**ENGINEER**  
DMS & ASSOCIATES, LLC  
P.O. BOX 80  
CENTREVILLE, MARYLAND 21617  
PHONE No. 1-443-262-9130

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**GRAPHIC SCALE**



I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR REVIEWED BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION AND THAT I AM A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF MARYLAND. I AM NOT PROVIDING ENGINEERING SERVICES TO ANY OTHER PARTY AT THIS TIME.  
DATE: DECEMBER 7, 2020  
P.O. BOX 80  
CENTREVILLE, MARYLAND 21617  
PHONE: 1-443-262-9130  
FAX: 1-443-262-9148  
D.A. SEAL

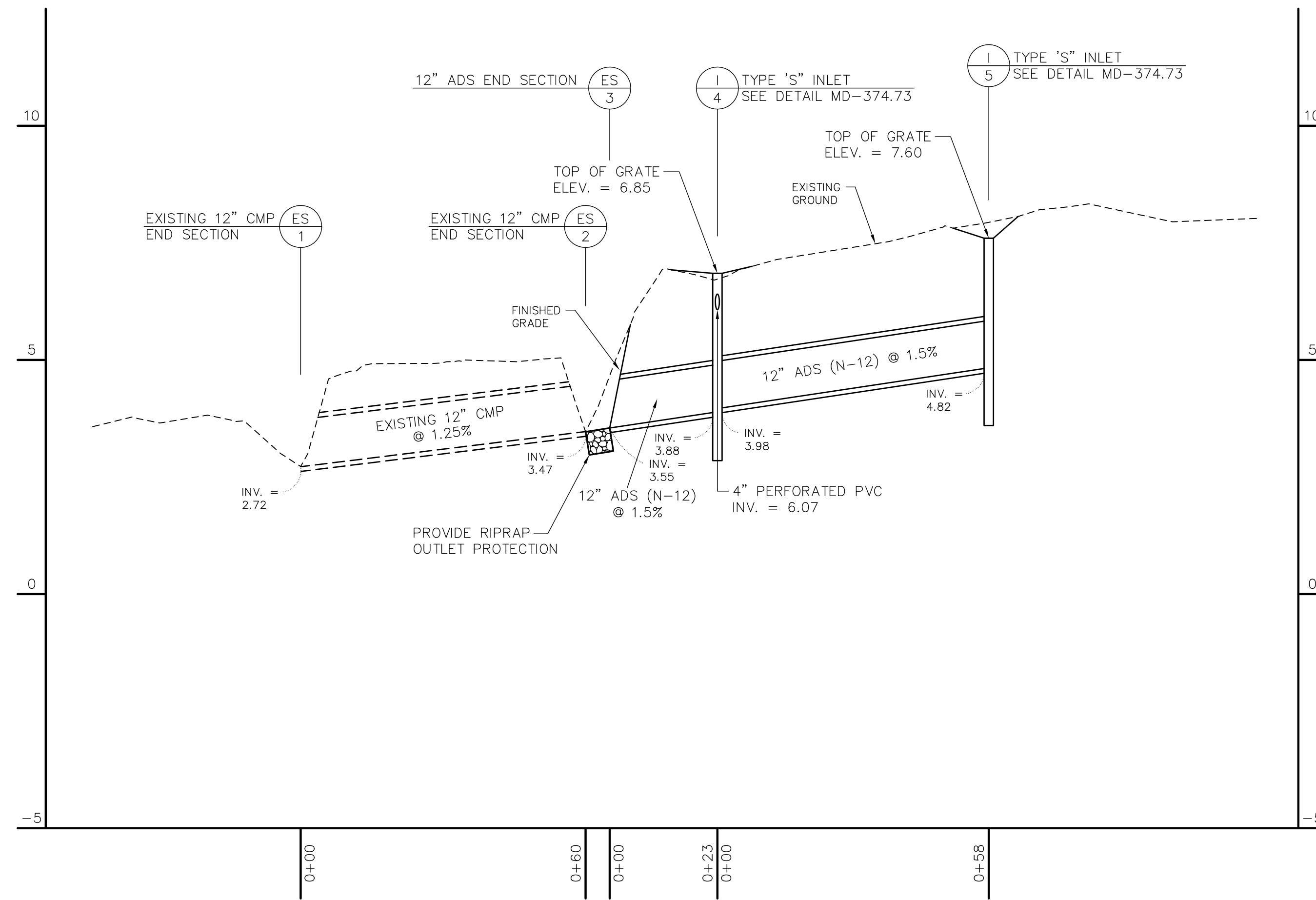
**DAVIS, MOORE, SHEARON  
& ASSOCIATES, LLC**  
ENGINEERING, DRAFTING/DESIGN,  
ENVIRONMENTAL SERVICES & SURVEYING

REVISION	DATE	DESCRIPTION
	10/22/20	

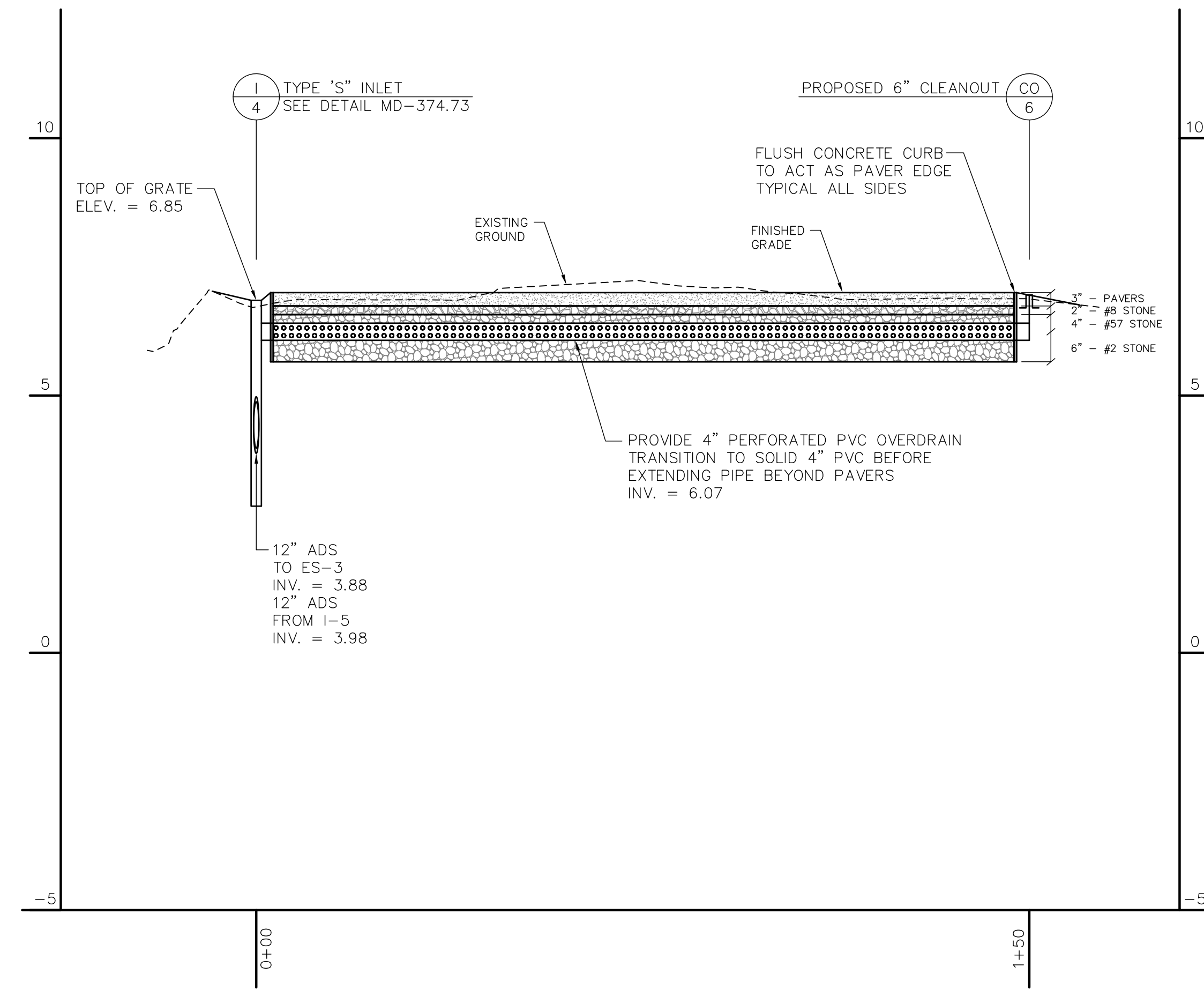
**OVERALL SITE PLAN**  
ON THE LANDS OF  
**CHESTER RIVER YACHT & COUNTRY CLUB**  
NEAR THE TOWN OF CHESTERTOWN  
TAX MAP - 44, GRID - 30, PARCEL - 15  
SEVENTH ELECTION DISTRICT, KENT COUNTY, MARYLAND  
PREPARED FOR: CHESTER RIVER YACHT & COUNTRY CLUB

DATE	SCALE
SEPTEMBER '20	1" = 300'
JOB No.	DRAWN BY
2019034	WJM
FOLDER #44-	DESIGNED BY
44-2019.34	RJS
SHEET No. - C-1	
CADD FILE - 19034-C1	





**STORMWATER MANAGEMENT PROFILE**  
 SCALE 1" = 20' HORIZONTAL  
 1" = 2' VERTICAL



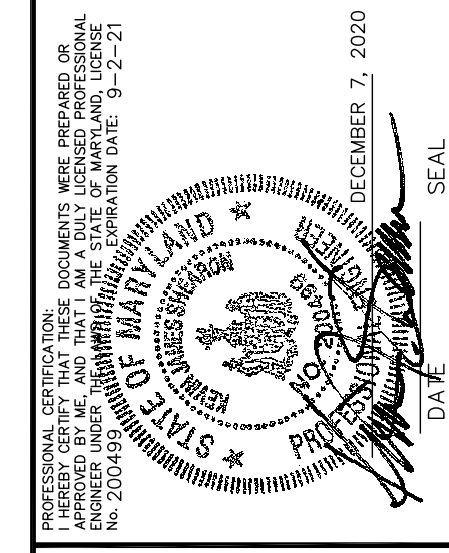
**STORMWATER MANAGEMENT PROFILE**  
 SCALE 1" = 20' HORIZONTAL  
 1" = 2' VERTICAL

DATE	SCALE	AS SHOWN
SEPTEMBER 20	20	
JOB No.	DRAWN BY	WJM
2019034		
FOLDER #64	DESIGNED BY	K/S
44-2019.34		
SHEET No. - C-3		
CADD FILE - 19034-C3		

**STORMWATER MANAGEMENT PROFILES**  
 ON THE LANDS OF  
**CHESTER RIVER YACHT & COUNTRY CLUB**  
 NEAR THE TOWN OF CHESTERTOWN  
 TAX MAP - 44, GRID - 30, PARCEL - 15  
 SEVENTH ELECTION DISTRICT, KENT COUNTY, MARYLAND  
 PREPARED FOR : CHESTER RIVER YACHT & COUNTRY CLUB

DATE	REVISION

**DAVIS, MOORE, SHEARON & ASSOCIATES, LLC**  
 ENGINEERING, DRAFTING/DESIGN,  
 ENVIRONMENTAL SERVICES & SURVEYING  
 P.O. BOX 80  
 CENTREVILLE, MARYLAND 21617  
 PHONE : 410-291-2500  
 FAX : 1-443-262-9148



KENT COUNTY PLANNING COMMISSION
KENT COUNTY HEALTH OFFICER
KENT COUNTY BOARD OF SUPERVISORS

### DETAIL B-4-G-D PERMANENT SOIL STABILIZATION MATTING SLOPE APPLICATION

STANDARD SYMBOL: P3500 - 4' x 10' (W/1/2" SF) INCLUDE SHEAR STRESS

CONSTRUCTION SPECIFICATIONS

- USE MATTING THAT HAS A DESIGN VALUE FOR SHEAR STRESS EQUAL TO OR HIGHER THAN THE SHEAR STRESS DESIGNATED ON APPROVED PLANS.
- USE PERMANENT SOIL STABILIZATION MATTING MADE OF OPEN WEAVE SYNTHETIC NON-DEGRADABLE FIBERS OF ELEMENTS OF UNIFORM THICKNESS AND DISTRIBUTION THROUGHOUT. CHEMICALS USED IN THE MAT MUST BE NON-LEACHING AND NON-TOXIC TO VEGETATION AND SEED GERMINATION AND NON-HARMFUL TO THE SOIL. IF PRESENT, NETTING MUST BE EXTRUSION PLASTIC WITH A MAXIMUM MESH OPENING OF 1/2 INCHES AND SUFFICIENTLY BENEATH OR SURFACE OF CHANNELS ALONG LONGITUDINAL AXIS OF THE MATERIAL TO PREVENT SEPARATION OF THE NET FROM THE PARENT MATERIAL.
- SECURE MATTING USING STEEL STAPLES OR WOOD STAPLES. STAPLES MUST BE "1" OR "1 1/2" SHAPED STEEL WIRE HAVING A MINIMUM GAUGE OF NO. 11 AND NO. 9 RESPECTIVELY. "1" SHAPED STAPLES MUST AVERAGE 1 TO 1 1/2 INCHES WIDE AND BE A MINIMUM OF 6 INCHES LONG. "1 1/2" SHAPED STAPLES MUST HAVE A MINIMUM 8 INCH SPAN LGS. A MINIMUM 1 WIDE SECONDARY LGS. AND MINIMUM 4 HIGH HEAD. WOOD STAPLES MUST BE ROUGH-SAWN HARDWOOD, 12 TO 24 INCHES IN LENGTH, 1 1/4 INCHES IN CROSS SECTION, AND WEDGE SHAPE AT THE BOTTOM.
- PERFORM FINAL GRADING, TOPSOIL APPLICATION, SEEDING PREPARATION, AND PERMANENT SEEDING IN ACCORDANCE WITH SPECIFICATIONS, PLACE MATTING WITHIN 48 HOURS OF COMPLETING SEEDING OPERATIONS, UNLESS END OF WORKSTOP STABILIZATION IS SPECIFIED ON THE APPROVED DESIGN AND SEDIMENT CONTROL PLAN.
- UNROLL MATTING DOWN SLOPE. LAY MATTING SMOOTHLY AND FIRMLY UPON THE SEEDING SURFACE. AVOID STRETCHING THE MATTING.
- OVERLAP OR ABUT EDGES OF MATTING ROLLS PER MANUFACTURER RECOMMENDATIONS. OVERLAP ROLL ENDS BY 6 INCHES (MINIMUM), WITH THE UPSTREAM MAT OVERLAPPING ON TOP OF THE DOWNSLOPE MAT.
- KEY IN THE TOP OF SLOPE END OF MAT 6 INCHES (MINIMUM) BY DIGGING A TRENCH, PLACING THE MATTING ROLLS IN THE TRENCH, STAPLING THE MAT IN PLACE, REPLACING THE EXCAVATED MATERIAL, AND TAMPING TO SECURE THE MAT END IN THE TRENCH.
- STAPLE STAPLE MAT IN A STAGGERED PATTERN IN A FOOT (MAXIMUM) CENTERS THROUGHOUT AND 2 FOOT (MAXIMUM) CENTERS ALONG SEAMS, JOINTS, AND ROLL ENDS.
- IF SPECIFIED BY THE DESIGNER OR MANUFACTURER AND DEPENDING ON THE TYPE OF MAT BEING INSTALLED, UNLESS THE MATTING IS KEPT AND STAPLED IN PLACE, FILL THE MAT Voids WITH TOP SOIL OR GRANULAR MATERIAL AND LIGHTLY COMPACT OR ROLL TO MAXIMIZE SOIL/MAT CONTACT WITHOUT CRUSHING MAT.
- ESTABLISH AND MAINTAIN VEGETATION SO THAT REQUIREMENTS FOR ADEQUATE VEGETATIVE ESTABLISHMENT ARE CONTINUOUSLY MET IN ACCORDANCE WITH SECTION B-4 VEGETATIVE STABILIZATION.

MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL  
U.S. DEPARTMENT OF AGRICULTURE NATURAL RESOURCES CONSERVATION SERVICE 2011 MARYLAND DEPARTMENT OF ENVIRONMENT AND WATER MANAGEMENT ADMINISTRATION

### DETAIL D-4-1-B ROCK OUTLET PROTECTION II

STANDARD SYMBOL: ROPII

CONSTRUCTION SPECIFICATIONS

- RRIPRAP AND STONE MUST CONFORM TO THE SPECIFIED CLASS.
- USE NONWOVEN GEOTEXTILE AS SPECIFIED IN SECTION H-1 MATERIALS, AND PROTECT FROM PUNCTURING, CUTTING, OR TEARING. REPAIR ANY DAMAGE OTHER THAN AN OCCASIONAL SMALL HOLE BY PLACING ANOTHER PIECE OF GEOTEXTILE OVER THE DAMAGED PART OR BY COMPLETELY REPLACING THE GEOTEXTILE. PROVIDE A MINIMUM OF ONE FOOT OVERLAP FOR ALL REPAIRS AND FOR JOINING TWO PIECES OF GEOTEXTILE TOGETHER.
- PREPARE THE SUBGRADE FOR GEOTEXTILE OR STONE FILTER (1/4 TO 1/2 INCH STONE FOR 6 INCH MINIMUM DEPTH) AND RRIPRAP TO THE REQUIRED LINES AND GRADES. COMPACT ANY FILL REQUIRED IN THE SUBGRADE TO A DENSITY OF APPROXIMATELY THAT OF THE SURROUNDING UNDISTURBED MATERIAL.
- EXTEND GEOTEXTILE AT LEAST 6 INCHES BEYOND EDGES OF RRIPRAP AND EMBED AT LEAST 4 INCHES AT SIDES OF RRIPRAP.
- CONSTRUCT RRIPRAP OUTLET TO FULL COURSE THICKNESS IN ONE OPERATION AND IN SUCH A MANNER AS TO AVOID DISJUNCTION OF UNDERLYING MATERIALS. PLACE STONE FOR RRIPRAP OUTLET IN A MANNER THAT WILL ENSURE THAT IT IS REASONABLY HOMOGENEOUS WITH THE SMALLER STONES AND SHALL FILLING THE Voids BETWEEN THE LARGER STONES. PLACE RRIPRAP IN A MANNER TO PREVENT DAMAGE TO THE STONE FILTER BLANKET OR GEOTEXTILE. HAND PLACE TO THE EXTENT NECESSARY.
- WHERE NO ENDWALL IS USED, CONSTRUCT THE UPSTREAM END OF THE APRON SO THAT THE WIDTH IS TWO TIMES THE DIAMETER OF THE OUTLET PIPE, AND EXTEND THE STONE UNDER THE OUTLET BY A MINIMUM OF 18 INCHES.
- CONSTRUCT APRON WITH OR WITHOUT OBSTRUCTIONS. PLACE STONE SO THAT IT BLEND INTO EXISTING GROUND.
- MAINTAIN LINE, GRADE, AND CROSS SECTION. KEEP OUTLET FREE OF EROSION. REMOVE ACCUMULATED SEDIMENT AND DEBRIS. AFTER HIGH FLOWS INSPECT FOR SCOUR AND DISLODGED RRIPRAP. MAKE NECESSARY REPAIRS IMMEDIATELY.

MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL  
U.S. DEPARTMENT OF AGRICULTURE NATURAL RESOURCES CONSERVATION SERVICE 2011 MARYLAND DEPARTMENT OF ENVIRONMENT AND WATER MANAGEMENT ADMINISTRATION

### DETAIL E-1 SILT FENCE

STANDARD SYMBOL: SF

CONSTRUCTION SPECIFICATIONS

- USE WOOD POSTS 1 1/2 x 1 1/2 x 3/4 INCH (MINIMUM) SQUARE CUT OF SOUND QUALITY HARDWOOD. AS AN ALTERNATIVE TO WOODEN POSTS, USE STANDARD 1" OR 1 1/2" SECTION STEEL POSTS WEIGHING NOT LESS THAN 1 POUND PER LINEAR FOOT.
- USE 3/8 INCH MINIMUM POSTS DRIVEN 16 INCH INTO GROUND NO MORE THAN 6 FEET APART.
- USE WOVEN SILT FENCE GEOTEXTILE AS SPECIFIED IN SECTION H-1 MATERIALS AND FASTEN GEOTEXTILE SECURELY TO UPSLOPE SIDE OF FENCE POSTS WITH WIRE TIES OR STAPLES AT TOP AND MID-SECTION.
- PROVIDE MANUFACTURER CERTIFICATION TO THE AUTHORIZED REPRESENTATIVE OF THE INSPECTION/ENFORCEMENT AUTHORITY SHOWING THAT THE GEOTEXTILE MEETS THE REQUIREMENTS IN SECTION H-1 MATERIALS.
- EMBED GEOTEXTILE A MINIMUM OF 8 INCHES VERTICALLY INTO THE GROUND. BACKFILL AND COMPACT THE SOIL ON BOTH SIDES OF FABRIC.
- WHERE TWO SECTIONS OF GEOTEXTILE ADJOIN: OVERLAP, TWIST, AND STAPLE TO POST IN ACCORDANCE WITH THIS DETAIL.
- EXTEND BOTH ENDS OF THE SILT FENCE A MINIMUM OF FIVE HORIZONTAL FEET UPSLOPE AT 45 DEGREES TO THE MAIN FENCE ALIGNED TO PREVENT RUNOFF FROM AROUND THE ENDS OF THE SILT FENCE.
- REMOVE ACCUMULATED SEDIMENT AND DEBRIS WHEN BULGES DEVELOP IN SILT FENCE OR WHEN SEDIMENT REACHES 20% OF FENCE HEIGHT. REPLACE GEOTEXTILE IF TORN, IF UNDERMINING OCCURS, REINSTALL FENCE.

MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL  
U.S. DEPARTMENT OF AGRICULTURE NATURAL RESOURCES CONSERVATION SERVICE 2011 MARYLAND DEPARTMENT OF ENVIRONMENT AND WATER MANAGEMENT ADMINISTRATION

### DETAIL E-1 SILT FENCE

STANDARD SYMBOL: SF

CONSTRUCTION SPECIFICATIONS

- USE WOOD POSTS 1 1/2 x 1 1/2 x 3/4 INCH (MINIMUM) SQUARE CUT OF SOUND QUALITY HARDWOOD. AS AN ALTERNATIVE TO WOODEN POSTS, USE STANDARD 1" OR 1 1/2" SECTION STEEL POSTS WEIGHING NOT LESS THAN 1 POUND PER LINEAR FOOT.
- USE 3/8 INCH MINIMUM POSTS DRIVEN 16 INCH INTO GROUND NO MORE THAN 6 FEET APART.
- USE WOVEN SILT FENCE GEOTEXTILE AS SPECIFIED IN SECTION H-1 MATERIALS AND FASTEN GEOTEXTILE SECURELY TO UPSLOPE SIDE OF FENCE POSTS WITH WIRE TIES OR STAPLES AT TOP AND MID-SECTION.
- PROVIDE MANUFACTURER CERTIFICATION TO THE AUTHORIZED REPRESENTATIVE OF THE INSPECTION/ENFORCEMENT AUTHORITY SHOWING THAT THE GEOTEXTILE MEETS THE REQUIREMENTS IN SECTION H-1 MATERIALS.
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- WHERE TWO SECTIONS OF GEOTEXTILE ADJOIN: OVERLAP, TWIST, AND STAPLE TO POST IN ACCORDANCE WITH THIS DETAIL.
- EXTEND BOTH ENDS OF THE SILT FENCE A MINIMUM OF FIVE HORIZONTAL FEET UPSLOPE AT 45 DEGREES TO THE MAIN FENCE ALIGNED TO PREVENT RUNOFF FROM AROUND THE ENDS OF THE SILT FENCE.
- REMOVE ACCUMULATED SEDIMENT AND DEBRIS WHEN BULGES DEVELOP IN SILT FENCE OR WHEN SEDIMENT REACHES 20% OF FENCE HEIGHT. REPLACE GEOTEXTILE IF TORN, IF UNDERMINING OCCURS, REINSTALL FENCE.

MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL  
U.S. DEPARTMENT OF AGRICULTURE NATURAL RESOURCES CONSERVATION SERVICE 2011 MARYLAND DEPARTMENT OF ENVIRONMENT AND WATER MANAGEMENT ADMINISTRATION

### DETAIL E-9-2 AT-GRADE INLET PROTECTION

STANDARD SYMBOL: AGIP

CONSTRUCTION SPECIFICATIONS

- USE NONWOVEN GEOTEXTILE AS SPECIFIED IN SECTION H-1 MATERIALS.
- LIFT GRATE AND WRAP WITH NONWOVEN GEOTEXTILE TO COMPLETELY COVER ALL OPENINGS. SECURE WITH WIRE TIES AND SET GRATE BACK IN PLACE.
- PLACE CLEAN 3/4 TO 1 1/2 INCH STONE OR EQUIVALENT RECYCLED CONCRETE 6 INCHES THICK ON THE GRATE.
- STORM DRAIN INLET PROTECTION REQUIRES FREQUENT MAINTENANCE. REMOVE ACCUMULATED SEDIMENT AFTER EACH RAIN EVENT TO MAINTAIN FUNCTION AND AVOID PREMATURE CLOSING. IF INLET PROTECTION DOES NOT COMPLETELY DRAIN WITHIN 24 HOURS AFTER A STORM EVENT, IT IS CLOGGED. WHEN THIS OCCURS, REMOVE ACCUMULATED SEDIMENT AND CLEAN, OR REPLACE GEOTEXTILE AND STONE.

MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL  
U.S. DEPARTMENT OF AGRICULTURE NATURAL RESOURCES CONSERVATION SERVICE 2011 MARYLAND DEPARTMENT OF ENVIRONMENT AND WATER MANAGEMENT ADMINISTRATION

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MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL  
U.S. DEPARTMENT OF AGRICULTURE NATURAL RESOURCES CONSERVATION SERVICE 2011 MARYLAND DEPARTMENT OF ENVIRONMENT AND WATER MANAGEMENT ADMINISTRATION

### R-1878B Solstice Heavy Duty Solid Lids/Grates

Heavy Duty

CONSTRUCTION INSPECTIONS

- CALL THE QUEEN ANNE'S COUNTY DEPARTMENT OF PUBLIC WORKS AT 410-778-7437 TO OBTAIN THE PROJECT AREA MAP AND TO OBTAIN THE FOLLOWING PHASES:
- SUBGRADE PREPARATION.
- INSTALLATION OF THE 2" OVERLAP (IF REQUIRED BY DPM).
- COMPLETION OF PAVEMENT INSTALLATION AND STABILIZATION OF SURROUNDING SOILS.

MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL  
U.S. DEPARTMENT OF AGRICULTURE NATURAL RESOURCES CONSERVATION SERVICE 2011 MARYLAND DEPARTMENT OF ENVIRONMENT AND WATER MANAGEMENT ADMINISTRATION

### PERMEABLE PAVEMENT DETAIL

CONSTRUCTION INSPECTIONS

- CALL THE QUEEN ANNE'S COUNTY DEPARTMENT OF PUBLIC WORKS AT 410-778-7437 TO OBTAIN THE PROJECT AREA MAP AND TO OBTAIN THE FOLLOWING PHASES:
- SUBGRADE PREPARATION.
- INSTALLATION OF THE 2" OVERLAP (IF REQUIRED BY DPM).
- COMPLETION OF PAVEMENT INSTALLATION AND STABILIZATION OF SURROUNDING SOILS.

MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL  
U.S. DEPARTMENT OF AGRICULTURE NATURAL RESOURCES CONSERVATION SERVICE 2011 MARYLAND DEPARTMENT OF ENVIRONMENT AND WATER MANAGEMENT ADMINISTRATION

### GENERAL NOTES

- Notification of Kent County (410-778-7437) at least five (5) days prior to the start of work.
- Prior to the start of work, the Contractor is to obtain County approval of any proposed plan changes and sequence of construction, specifically relating to installation, inspection, maintenance and removal of erosion and sediment control measures.
- Sediment control measures are not to be removed until the areas served have established vegetative cover, or with the permission of the Kent County Sediment Control Inspector.
- When pumping sediment-laden water, the discharge must be directed to an approved sediment trapping measure prior to release from the site.
- All temporary stockpiles are to be located within areas protected by sediment control measures, and are to be temporarily stabilized.
- All sediment control dikes, swales, basins and flow lines to basins will be temporarily seeded immediately upon installation to reduce the contribution to sediment loading.
- Disposal of excess earth materials on State or Federal property requires MDE Approval, otherwise materials are to be disposed of at a location approved by the local authority.
- Temporary soil erosion control and sediment control measures are to be provided as per the approved plan prior to grading operations. Location adjustments are to be made in the field as necessary. The minimum area practical shall be disturbed for the minimum possible time.
- If grading is completed out of a seeding season, graded areas are to be temporarily stabilized by mulch and mulch anchoring. Mulch material shall be unweathered, unchopped small grain straw spread at the rate of 1 to 2 tons per acre. Mulch anchoring to be accomplished by an approved method, use of a mulch anchoring tool is recommended where possible.
- Implementation of the sediment control plan shall be in accordance with the "2011 Maryland Standards and Specifications for Soil Erosion and Sediment Control", of the Department.
- The Contractor is responsible for implementation and maintenance of the approved plan, and all other measures necessary to control, filter, or prevent sediment from leaving the site.
- In case where stormwater management structures are a part of site development, removal of sediment control structures may not be accomplished before the contributing drainage area to the stormwater management structure is dewatered and stabilized.
- On sites where infiltration techniques are utilized for the control of stormwater, extreme care must be taken to prevent all runoff from entering the structure during construction.
- Sediment control for utility construction in areas outside of designed controls:
  - Excavated trench material shall be placed on the high side of the trench.
  - Immediately following pipe installation the trench shall be backfilled, compacted and stabilized at the end of each working day.
  - Temporary silt fence or straw bale dikes shall be placed immediately downstream of any disturbed area intended to remain disturbed longer than one working day.
- All points on construction ingress and egress shall be protected to prevent tracking of mud onto public ways.
- Site information:
 

Total Area of Site	N/A Acres
Area Disturbed	0.353 Acres
Area to be Roofed or Paved	0.249 Acres

### EROSION & SEDIMENT CONTROL STANDARDS AND SPECIFICATIONS FOR VEGETATIVE STABILIZATION

- Contractor shall install soil erosion and sediment control devices prior to any grading. Following initial disturbance or re-disturbance, permanent or temporary stabilization shall be completed within three (3) calendar days as to the surface of all perimeter controls, dikes, swales, ditches, perimeter slopes greater than three (3) horizontal to one (1) vertical (3:1) and seven days (7) as to all other disturbed or graded areas on the project site.
- All temporary erosion and sediment control devices are to be provided as indicated on this plan, with location adjustments to be made in the field as necessary and to be maintained at the end of each working day until project completion. The minimum area practical shall be disturbed for the minimal amount of possible time.
- Clearing and grubbing shall include all trees, brush, debris, root mat and organic materials to be removed.
- Temporary seeding shall be accomplished between February 15th through April 30th, or August 15th through November 30th. During other times, temporary mulching shall be provided.
- Temporary seeding shall conform to the following applications: 436 lbs. per acre of 10-20-20; 4,000 lbs. per acre of ground limestone, to be incorporated into the soil by disk or other suitable means. Annual ryegrass shall be applied at a rate of 50 lbs. per acre using suitable equipment. Mulching shall be accomplished immediately after seeding.
 

No.	Species	Seed Mixture (Per Acre, Zone 7a) (From Table B-3)		Seeding Depth	Fertilizer Rate (10-20-20)	Lime Rate
		App. Rate (lb./ac.)	Seeding Dates			
ANNUAL RYE GRASS	50 lbs.	2/15-4/30, 8/15-11/30	1/2"			
BARLEY	96 lbs.	2/15-4/30, 8/15-11/30	1"	436 lb/acre	2 tons/acre	
DATS	120 lbs.	2/15-4/30, 8/15-11/30	1"	10 lb/1000 sq ft	90 lb/1000 sq ft	
WHEAT	112 lbs.	2/15-4/30, 8/15-11/30	1"			
CEREAL RYE	112 lbs.	2/15-4/30, 8/15-12/15	1"			
FOXTAIL MILLET	30 lbs.	5/1-8/14	1/2"			
PEARL MILLET	20 lbs.	5/1-8/14	1/2"			
- Mulching shall be unchopped, unrotted, small grain straw applied at a rate of 2-2 1/2 tons per acre. Anchor mulch with a mulch anchoring tool on the contour. Wood cellulose fiber may be used for anchoring straw at 750 lbs. per acre mixed with water at a maximum of 50 lbs. of wood cellulose fiber per 100 gallons of water, or with a synthetic liquid binder according to manufacturer recommendations. Wood cellulose fiber used as mulch must be applied at a net dry weight of 1,500 lbs. per acre. Mix wood cellulose fiber with water to obtain a mixture with a maximum of 50 lbs. of wood cellulose fiber per 100 gallons of water.
- Permanent seeding shall be accomplished between March 1st through May 15th, or August 15th through October 15th. Permanent seeding at other than specified times will be allowed only upon written approval. Permanent seeding shall conform to the following applications: Permanent seeding for sites having disturbed over five (5) acres shall use fertilizer rates recommended by a soil testing agency and the recommendations provided in the Permanent Seeding Summary Table. Permanent seeding for conditions other than listed above shall be performed at the rates and dates as provided in the Permanent Seeding Summary Table below. Fertilizer and lime amendments shall be incorporated into the top 3" - 5" of the soil by disk or other suitable means. Mulching shall be accomplished as discussed in item #6 of these specifications.
 

No.	Species	Seed Mixture (Per Acre, Zone 7a) (From Table B-3)		Seeding Depth	Fertilizer Rate (10-20-20)	Lime Rate
		App. Rate (lb./ac.)	Seeding Dates			
7	CREeping RED FESCUE	60 lbs.	3/1-5/15	1/4"		
	KENTUCKY BLUEGRASS	15 lbs.	8/15-10/15	1/2"		
8	TALL FESCUE	100 lbs.	3/1-5/15	1/4"	45 lb/acre	90 lb/1000 sq ft
	KENTUCKY BLUEGRASS	40 lbs.	8/15-10/15	1/2"	1000 sq ft	1000 sq ft
9	TALL FESCUE	80 lbs.	3/1-5/15	1/4"		
	KENTUCKY BLUEGRASS	40 lbs.	8/15-10/15	1/2"		
	PERENNIAL RyEGRASS	20 lbs.	8/15-10/15	1/2"		
- Any spill or borrow will be placed at a site approved by the Soil Conservation District.
- All areas remaining or intended to remain disturbed for longer than three (7) days shall be stabilized in accordance with the USDA, Natural Resources Conservation Service Standards and Specifications for Soil Erosion and Sediment Control in developing areas for critical area stabilization.
- It will be the responsibility of the Contractor or Subcontractor to notify the Engineer of any deviation from this plan. Any change made in this plan without written authorization from the Engineer will place responsibility of soil change on the Contractor or the Subcontractor.

U.S. DEPARTMENT OF AGRICULTURE NATURAL RESOURCES CONSERVATION SERVICE 2011 MARYLAND DEPARTMENT OF ENVIRONMENT AND WATER MANAGEMENT ADMINISTRATION

### PRECAST STANDARD TYPE S INLET SINGLE GRATE

STANDARD NO. MD-374.73

MARYLAND DEPARTMENT OF TRANSPORTATION STATE HIGHWAY ADMINISTRATION STANDARDS FOR HIGHWAYS AND INCIDENTAL STRUCTURES

SHA State Highway

### STORMWATER MANAGEMENT SUMMARY TABLE

REQUIREMENT	VOLUME REQ.	VOLUME PRO.	NOTES
ESD <sub>y</sub>	848 cf	968	PERMEABLE PAVERS AND NONROOFTOP DISCONNECTION
RECHARGE (Rev)	N/A	N/A	ESD TO THE MEP MET, THIS SITE IS WOODS IN GOOD CONDITION
CHANNEL PROTECTION VOLUME (C <sub>pv</sub> )	N/A	N/A	ESD TO THE MEP MET, THIS SITE IS WOODS IN GOOD CONDITION
EXTREME FLOOD (OF)	N/A	N/A	N/A

U.S. DEPARTMENT OF AGRICULTURE NATURAL RESOURCES CONSERVATION SERVICE 2011 MARYLAND DEPARTMENT OF ENVIRONMENT AND WATER MANAGEMENT ADMINISTRATION

### PHASE OF CONSTRUCTION

- CONTACT THE KENT COUNTY SEDIMENT AND EROSION CONTROL INSPECTOR AT 410-778-7437 A MINIMUM OF 2 WEEKS PRIOR TO THE START OF CONSTRUCTION TO SCHEDULE A PRE-CONSTRUCTION MEETING PRIOR TO INITIATION OF ANY GRADING ACTIVITY.
- CLEAR AND GRUB ONLY AS NECESSARY AND REMOVE DEBRIS OFFSITE TO AN APPROVED LOCATION.
- INSTALL PERIMETER SILT FENCE AT LOCATIONS SHOWN.
- INSTALL PARKING LOT BASE FOR SITE ACCESS.
- INSTALL CLOSED STORMDRAIN SYSTEM.
- GRADE SITE AND STABILIZE WITH TOPSOIL, SEED, AND STABILIZATION MATTING FOR ALL SLOPES 3:1 AND STEEPER. MAINTAIN PERIMETER CONTROLS.
- UPON STABILIZATION OF ALL UPSTREAM CONTRIBUTING AREAS INSTALL THE PERMEABLE PAVEMENT SYSTEM.
- UPON APPROVAL FROM THE KENT COUNTY SEDIMENT CONTROL INSPECTOR, REMOVE ALL TEMPORARY SEDIMENT AND EROSION CONTROL DEVICES AND STABILIZE ALL DISTURBED AREAS PER PERMANENT STABILIZATION SPECIFICATIONS FOUND ON THIS SHEET.

MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL  
U.S. DEPARTMENT OF AGRICULTURE NATURAL RESOURCES CONSERVATION SERVICE 2011 MARYLAND DEPARTMENT OF ENVIRONMENT AND WATER MANAGEMENT ADMINISTRATION

### MAINTENANCE SCHEDULE

PREVENTATIVE MAINTENANCE SHALL BE ENSURED THROUGH INSPECTION OF ALL INFILTRATION SYSTEMS, RETENTION, OR DETENTION STRUCTURES BY THE KENT COUNTY INSPECTOR. THE INSPECTION SHALL OCCUR DURING THE FIRST YEAR OF OPERATION AND AT LEAST ONCE EVERY 2 YEARS THEREAFTER.

NOTE:  
AN ASBUILT SURVEY OF THE STORMWATER MANAGEMENT FACILITY WILL BE PERFORMED AND IF THE AS-BUILT DOES NOT SUBSTANTIALLY REFLECT THE STORMWATER FACILITY DESIGN, THE CONTRACTOR SHALL MAKE ANY CHANGES OR ADDITIONS TO BRING THE FACILITY IN COMPLIANCE WITH THE DESIGN AS DIRECTED BY THE SOIL CONSERVATION TECHNICIAN OF KENT COUNTY.

### ASBUILT CERTIFICATION

I HEREBY CERTIFY THAT THE FACILITIES SHOWN ON THIS PLAN WERE CONSTRUCTED AS SHOWN ON THE "ASBUILT" PLANS AND MEETS THE APPROVED PLANS AND SPECIFICATIONS.

SIGNATURE \_\_\_\_\_ P.E. No. \_\_\_\_\_  
DATE \_\_\_\_\_

### MISCELLANEOUS DETAILS AND SEDIMENT & EROSION CONTROL SPECIFICATIONS

- THE CONTRACTOR SHALL NOTIFY THE KENT COUNTY SEDIMENT AND EROSION CONTROL INSPECTOR AT (778-7437) AT THE FOLLOWING POINTS:
  - THE REQUIRED PRECONSTRUCTION MEETING.
  - FOLLOWING INSTALLATION OF SEDIMENT CONTROL MEASURES.
  - PRIOR TO REMOVAL OR MODIFICATION OF ANY SEDIMENT CONTROL STRUCTURE.
  - PRIOR TO REMOVAL OF ALL SEDIMENT AND EROSION CONTROL DEVICES.
  - PRIOR TO FINAL ACCEPTANCE.

MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL  
U.S. DEPARTMENT OF AGRICULTURE NATURAL RESOURCES CONSERVATION SERVICE 2011 MARYLAND DEPARTMENT OF ENVIRONMENT AND WATER MANAGEMENT ADMINISTRATION

KENT COUNTY PLANNING COMMISSION

KENT COUNTY HEALTH OFFICER

U.S. DEPARTMENT OF AGRICULTURE NATURAL RESOURCES CONSERVATION SERVICE 2011 MARYLAND DEPARTMENT OF ENVIRONMENT AND WATER MANAGEMENT ADMINISTRATION

DAVIS, MOORE, SHEARON & ASSOCIATES, LLC  
ENGINEERING, DRAFTING/DESIGN, ENVIRONMENTAL SERVICES & SURVEYING  
P.O. BOX 80  
CENTREVILLE, MARYLAND 21617  
PHONE: 1-443-262-9148  
FAX: 1-443-262-9148

ON THE LANDS OF  
**CHESTER RIVER YACHT & COUNTRY CLUB**  
NEAR THE TOWN OF CHESTERTOWN

TAX MAP - 44, GRID - 30, PARCEL - 15  
SEVENTH ELECTION DISTRICT, KENT COUNTY, MARYLAND  
PREPARED FOR: CHESTER RIVER YACHT & COUNTRY CLUB

SCALE AS SHOWN  
JOB NO. 2019034  
DRAWN BY WJM  
TOLDER R64  
44-2019.34  
DESIGNED BY KJS

SHEET No. - C-4  
CADD FILE - 19034-C4

DATE SEPTEMBER '20  
JOB NO. 2019034  
DRAWN BY WJM  
TOLDER R64  
44-2019.34  
DESIGNED BY KJS



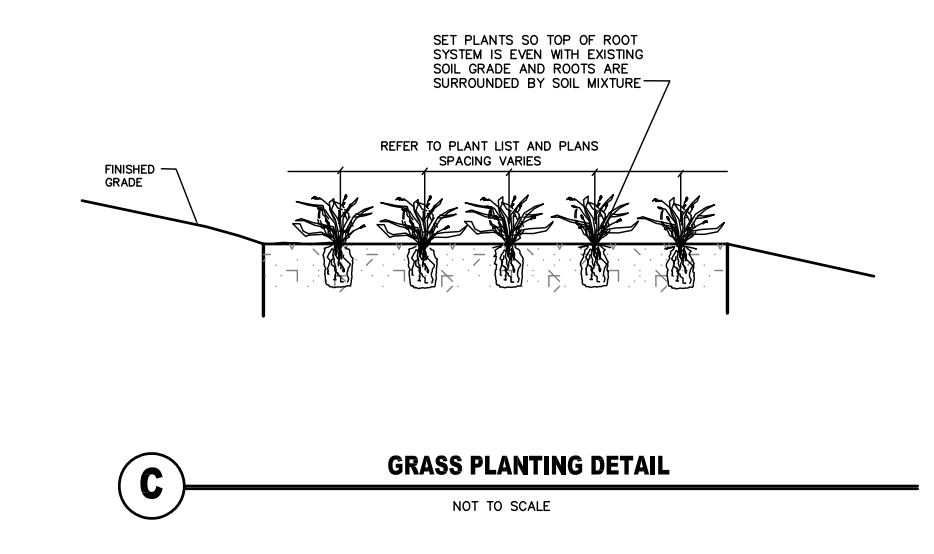
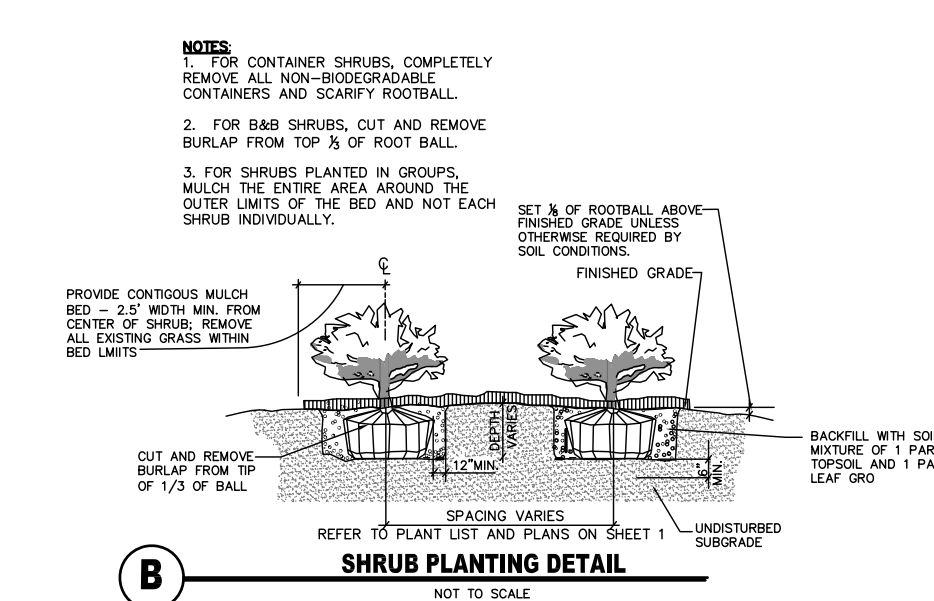
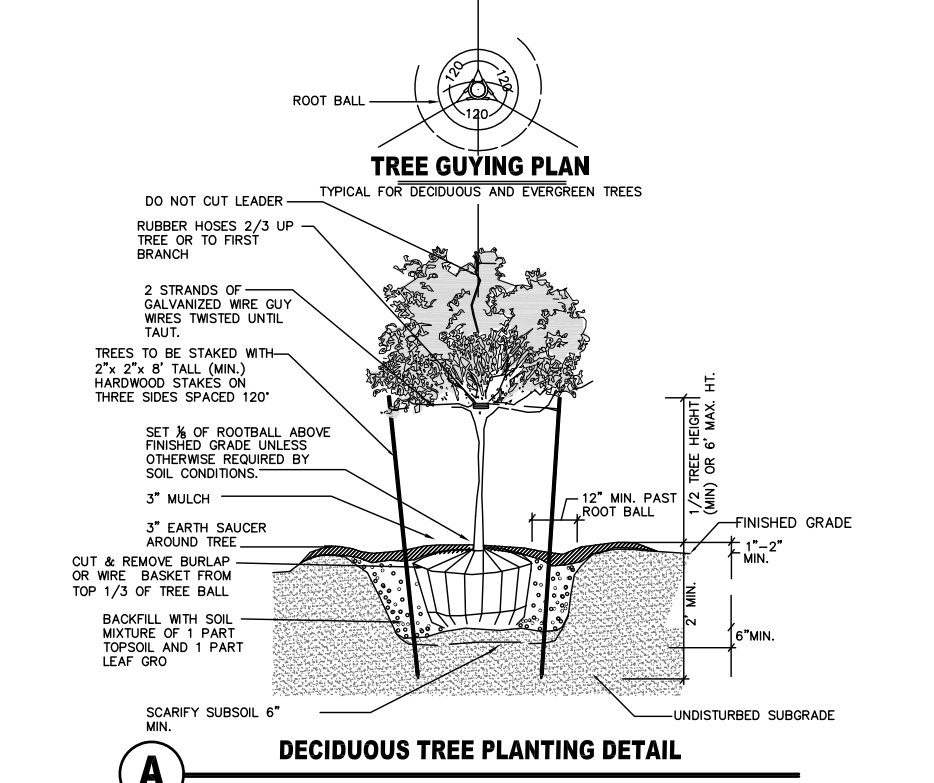
# CHESTER RIVER YACHT AND COUNTRY CLUB BUFFER MANAGEMENT PLANS



### MITIGATION REQUIREMENTS

LOT COVERAGE INSIDE THE 100' BUFFER: 175 SQ. FT. @ 3:1 - 525 SQ.FT.  
 LOT COVERAGE OUTSIDE 100' BUFFER: 10,661 SQ.FT. @ 1:1 = 10,661 SQ.FT.  
 TOTAL MITIGATION REQUIRED: 525 SQ.FT. + 10,661 = 11,186 SQ.FT.  
 TOTAL MITIGATION PROPOSED (SEE BELOW): 11,345 SQ.FT.

### PLANTING DETAILS



### PROPOSED MITIGATION

VEGETATION TYPE	MAXIMUM CREDIT ALLOWED (SQ.FT.)	MAXIMUM % OF CREDIT	# OF PLANTS	CREDIT PROVIDED (SQ.FT.)
2" CANOPY TREE	200	N/A	11	2,200
1" CANOPY TREE	100	N/A	0	0
UNDERSTORY TREE	75	N/A	29	2,175
LARGE SHRUB	50	30 %	72	3,800 (27%)
SMALL SHRUB	25	20 %	82	2,050 (15%)
GRASSES/PERENNIAL	2	10 %	660	1,320 (10%)
PLANTING CLUSTER 1	300	N/A	0	0
PLANTING CLUSTER 2	350	N/A	0	0
<b>TOTAL CREDIT PROVIDED</b>				<b>11,345</b>

### PLANT SCHEDULE

KEY	QUA	BOTANICAL NAME	COMMON NAME	SIZE
<b>Canopy Trees</b>				
BN	2	Betula nigra 'Heritage'	Heritage River Birch	2 - 2 1/2" Cal. B&B
PO	5	Platanus occidentalis	Sycamore	2 - 2 1/2" Cal. B&B
QR	4	Quercus rubra	Northern Red Oak	2 - 2 1/2" Cal. B&B
<b>Understory Trees</b>				
AC	4	Ameiarchia x grandiflora 'Autumn Brilliance'	Autumn Brilliance Serviceberry	1 - 1 1/2" Cal. B&B
CC	7	Cercis canadensis	Eastern Redbud	1 - 1 1/2" Cal. B&B
CV	9	Chioanthus virginicus	White Fringetree	1 - 1 1/2" Cal. B&B
IO	4	Ilex opaca	American Holly	1 - 1 1/2" Cal. B&B
MV	5	Magnolia virginiana	Sweetbay Magnolia	1 - 1 1/2" Cal. B&B
<b>Large Shrubs</b>				
BH	39	Baccharis halimifolia	Groundsel Bush	18 - 24" Cont.
MP	25	Myrica pensylvanica	Northern Bayberry	18 - 24" Cont.
PN	5	Physocarpus opulifolius	Ninebark	18 - 24" Cont.
<b>Small Shrubs</b>				
IG	54	Ilex glabra 'Shamrock'	Shamrock Inkberry	18 - 24" Cont.
PM	28	Photinia melanocarpa	Black Chokeberry	18 - 24" Cont.
<b>Grasses</b>				
SP	600	Spartina patens	Saltmeadow Cordgrass	2" Plants; 18" Spacing stagg. o.c.

### PLANT LEGEND

- 2" CANOPY TREE
- UNDERSTORY TREE
- LARGE SHRUBS
- SMALL SHRUBS
- GRASSES

KENT COUNTY PLANNING COMMISSION

KENT COUNTY HEALTH OFFICE

DATE: FEBRUARY '20

SCALE: 1" = 100'

JOB No.: 2019034

DRAWN BY: W.M.

FOLDER Ref.: 44-201934

DESIGNED BY: WH

SHEET No. - LS 1 OF 3

CADD FILE - 19034CP3

ON THE LANDS OF  
**CHESTER RIVER YACHT & COUNTRY CLUB**  
NEAR THE TOWN OF CHESTERTOWN  
TAX MAP - 44, GRID - 3D, PARCEL - 15  
SEVENTH ELECTION DISTRICT, KENT COUNTY, MARYLAND  
PREPARED FOR : CHESTER RIVER YACHT & COUNTRY CLUB

**DAVIS, MOORE, SHEARON & ASSOCIATES, LLC**  
120 Bay Meadows Lane, Stevensville, MD, 21166  
Phone: 443.988.2294  
E-mail: [Hustead@Hustead.com](mailto:Hustead@Hustead.com) Web: [www.Hustead.com](http://www.Hustead.com)

REVISION

ADDRESS COMMENTS

DATE: P-1-20

DATE: DEC 3, 2020

DRAWN BY: W.M.

DESIGNED BY: WH

SHEET No. - LS 1 OF 3

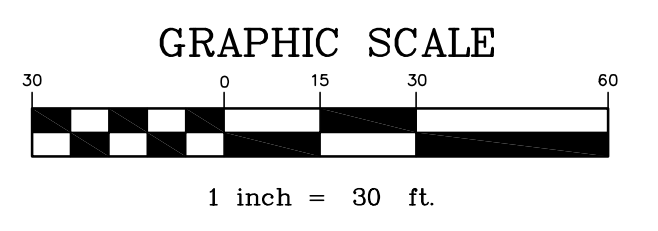
CADD FILE - 19034CP3



PRIVATE NONTIDAL POND OWNED BY THE CHESTER RIVER

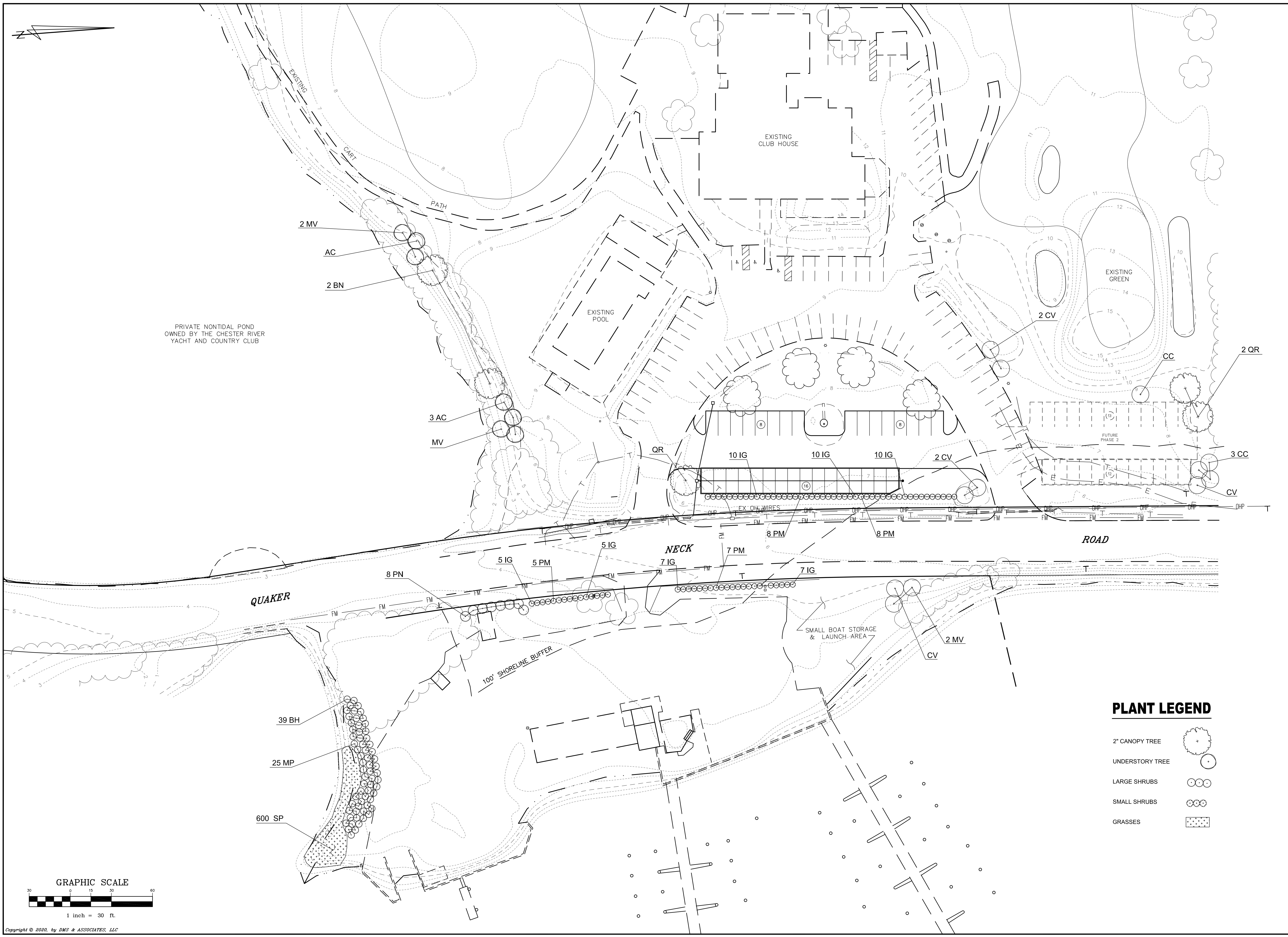
**PLANT LEGEND**

- 2" CANOPY TREE
- UNDERSTORY TREE
- LARGE SHRUBS
- SMALL SHRUBS
- GRASSES



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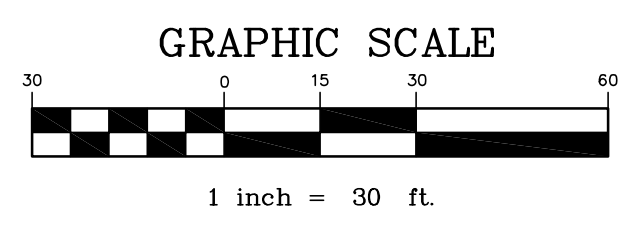
DATE FEBRUARY 20 JOB No. 2019034 FOLDER #44 44-201934 SHEET No. - L-2 CADD FILE - 19034CF3	SCALE 1" = 30' DRAWN BY WJM DESIGNED BY VH	DETAILED BUFFER MANAGEMENT PLAN ON THE LANDS OF <b>CHESTER RIVER YACHT &amp; COUNTRY CLUB</b> NEAR THE TOWN OF CHESTERTOWN TAX MAP - 44, GRID - 30, PARCEL - 15 SEVENTH ELECTION DISTRICT, KENT COUNTY, MARYLAND PREPARED FOR : CHESTER RIVER YACHT & COUNTRY CLUB	DATE 9-8-20 REVISION ADDRESS COMMENTS		DAVIS, MOORE, SHEARON & ASSOCIATES, LLC CENTREVILLE, MARYLAND 21617 HUSTEAD Landscape Architecture, LLC 120 Bay Meadows Lane Stevensville, MD, 21166 Phone : 443.988.2294 E-mail: Vhustead@husteadia.com Web: www.Husteadia.com	KENT COUNTY PLANNING COMMISSION KENT COUNTY HEALTH DISTRICT KENT COUNTY CONSERVATION DISTRICT
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PRIVATE NONTIDAL POND  
OWNED BY THE CHESTER RIVER  
YACHT AND COUNTRY CLUB

**PLANT LEGEND**

- 2" CANOPY TREE
- UNDERSTORY TREE
- LARGE SHRUBS
- SMALL SHRUBS
- GRASSES



Copyright © 2020, by DMS & ASSOCIATES, LLC

<p>DATE: FEBRUARY 20 JOB No.: 2019034 FOLDER #64: 44-201934 SHEET No.: L-3 CADD FILE: 19034CF3</p>	<p>SCALE: 1" = 30' DRAWN BY: WJM DESIGNED BY: VHI</p>	<p>DETAILED BUFFER MANAGEMENT PLAN ON THE LANDS OF <b>CHESTER RIVER YACHT &amp; COUNTRY CLUB</b> NEAR THE TOWN OF CHESTERTOWN TAX MAP - 44, GRID - 30, PARCEL - 15 SEVENTH ELECTION DISTRICT, KENT COUNTY, MARYLAND PREPARED FOR: CHESTER RIVER YACHT &amp; COUNTRY CLUB</p>	<p>REVISION DATE ADDRESS COMMENTS</p>	<p>DATE: 9-8-20</p>	<p>DATE: DEC. 3, 2020 SEAL</p>	<p>PROFESSIONAL SEAL STATE OF MARYLAND LANDSCAPE ARCHITECTURE D. MOORE, SHEARON &amp; ASSOCIATES, LLC CENTREVILLE, MARYLAND 21617</p>	<p>HUSTEAD Landscape Architecture, LLC 120 Bay Meadows Lane, Stevensville, MD, 21666 Phone: 443.988.2294 E-mail: Vhustead@Husteadia.com Web: www.Husteadia.com</p>	<p>KENT COUNTY PLANNING COMMISSION KENT COUNTY HEALTH DISTRICT KENT SOIL CONSERVATION DISTRICT</p>
--	---	--	---	---------------------	------------------------------------	---	--	--

STATISTICS						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Calc Zone	+	0.2 fc	1.7 fc	0.0 fc	N/A	N/A

LUMINAIRE SCHEDULE							
Symbol	Label	Qty	Catalog Number	Description	Lamp	File	Lumens LLF Watts
□	P	2	Lithonia DSX1 LED P3 30K T4M MVOLT	DSX1 LED P3 30K T4M MVOLT Mounting Height = 30 Feet	LED	DSX1_LED_P3_30K_T4M_MV_OLT.ies	Absolute 0.95 102

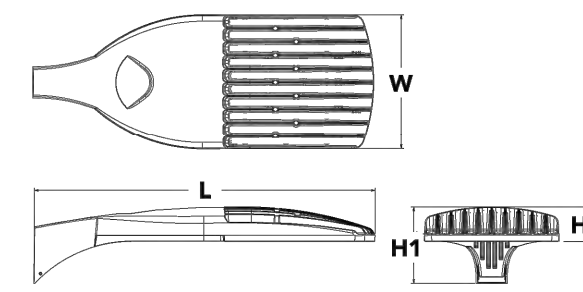


### D-Series Size 1 LED Area Luminaire

Color	
Number	
Note	
Type	

#### Specifications

**EPA:** 1.01 ft<sup>2</sup> (0.09 m<sup>2</sup>)  
**Length:** 33" (0.84 m)  
**Width:** 13" (0.33 m)  
**Height H1:** 7-1/2" (0.19 m)  
**Height H2:** 3-1/2" (0.09 m)  
**Weight (max):** 27 lbs (12.2 kg)



#### Introduction

The modern styling of the D-Series is striking yet unobtrusive - making a bold, progressive statement even as it blends seamlessly with its environment. The D-Series distills the benefits of the latest in LED technology into a high performance, high efficacy, long-life luminaire. The outstanding photometric performance results in sites with excellent uniformity, great pole spacing and lower power density. It is ideal for replacing up to 750W metal halide in pedestrian and area lighting applications with typical energy savings of 65% and expected service life of over 100,000 hours.

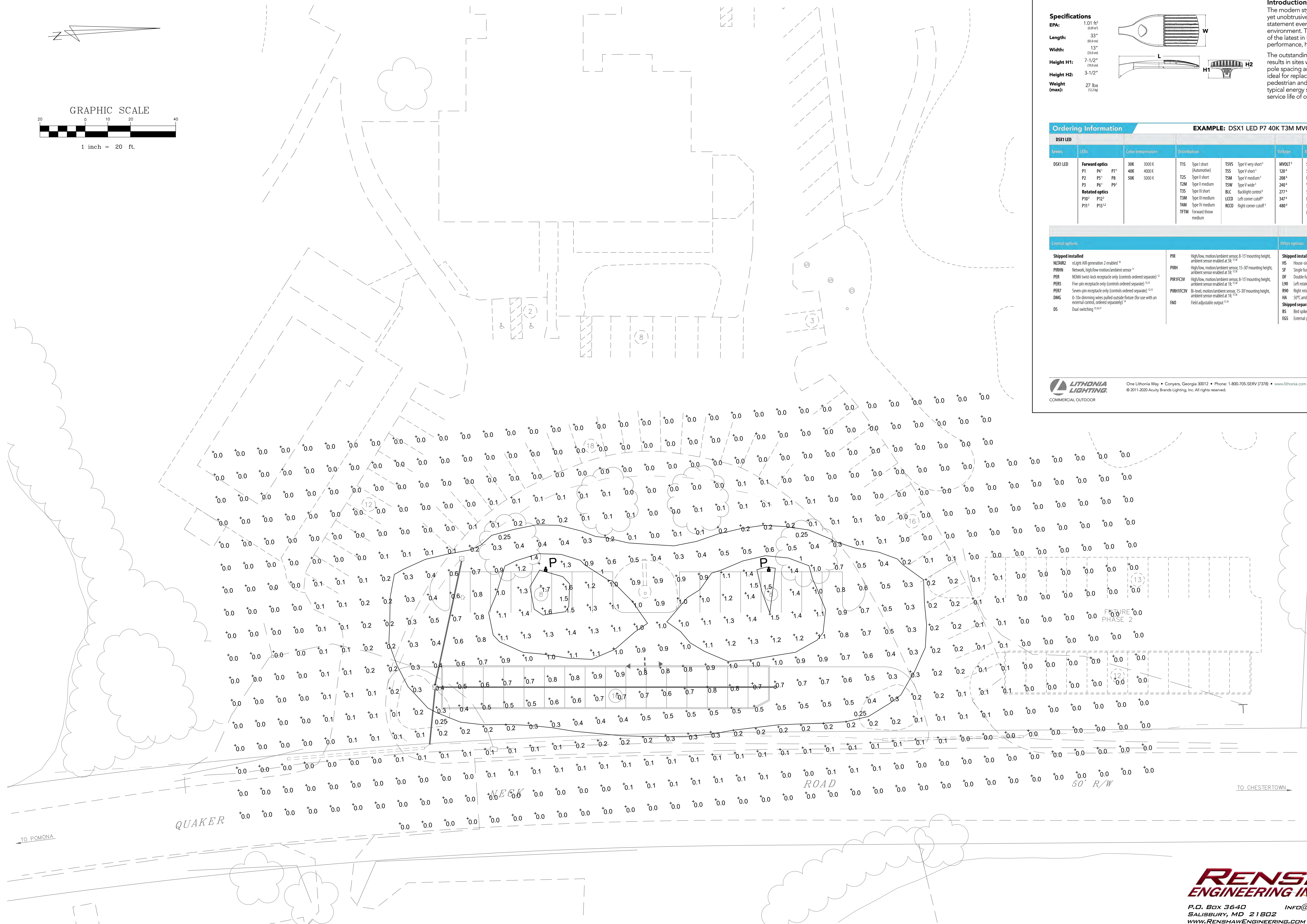
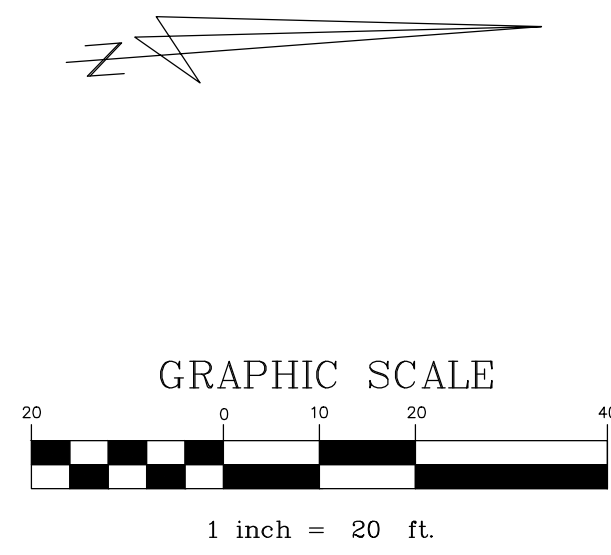
#### Ordering Information

EXAMPLE: DSX1 LED P7 40K T3M MVOLT SPA NLTAR2 PIRHN DDBX0

Series	LEDs	Color temperature	Distribution	Voltage	Mounting				
DSX1 LED	<b>Forward optics</b>		T1S Type I short (N/A mounting) T2S Type II short T2M Type II medium T3S Type II short T3M Type II medium T4M Type IV medium TTM forward/down medium	TSVS Type V very short <sup>1</sup> TSV Type V short <sup>1</sup> TSM Type V medium <sup>1</sup> TSW Type V wide <sup>1</sup> BLC Backlight control <sup>4</sup> LCCD Left corner cutoff <sup>4</sup> RCCD Right corner cutoff <sup>4</sup>	MVOLT <sup>1</sup> 120V <sup>1</sup> 208V <sup>1</sup> 240V <sup>1</sup> 277V <sup>1</sup> 347V <sup>1</sup> 480V <sup>1</sup>	<b>Shipped included</b> SPA Square pole mounting RPA Round pole mounting <sup>2</sup> WBA Wall bracket <sup>1</sup> SPUMBA Square pole universal mounting adapter <sup>1</sup> RPU MBA Round pole universal mounting adapter <sup>1</sup> <b>Shipped separately</b> KWAB DDBX0 <sup>3</sup> Max arm mounting bracket adaptor (specify finish) <sup>3</sup>			
	P1 P4 P7	30K 3000K					T1S Type I short (N/A mounting)	TSVS Type V very short <sup>1</sup>	MVOLT <sup>1</sup>
	P2 P5 P8	40K 4000K					T2S Type II short	TSV Type V short <sup>1</sup>	120V <sup>1</sup>
	P6 P9	50K 5000K					T2M Type II medium	TSM Type V medium <sup>1</sup>	208V <sup>1</sup>
							T3S Type II short	TSW Type V wide <sup>1</sup>	240V <sup>1</sup>
							T3M Type II medium	BLC Backlight control <sup>4</sup>	277V <sup>1</sup>
			T4M Type IV medium	LCCD Left corner cutoff <sup>4</sup>	347V <sup>1</sup>				
			TTM forward/down medium	RCCD Right corner cutoff <sup>4</sup>	480V <sup>1</sup>				

Control options	Other options	Finish options
<b>Shipped installed</b> NLTAR2 High-flow motion/ambient sensor, 8-15' mounting height, ambient sensor enabled at 16" <sup>10</sup> PIRHN Network, high-flow motion/ambient sensor <sup>11</sup> PER NEIMA twin-lock receptacle only (controls ordered separately) <sup>10</sup> PERS Five-pin receptacle only (controls ordered separately) <sup>10,11</sup> PER7 Seven-pin receptacle only (controls ordered separately) <sup>10,11</sup> DMG 0-10V dimming driver (remote control feature; for use with an external control, ordered separately) <sup>10</sup> DS Dual switching <sup>10,11</sup>	PIR High-flow, motion/ambient sensor, 8-15' mounting height, ambient sensor enabled at 16" <sup>10</sup> PIRH High-flow, motion/ambient sensor, 15-30' mounting height, ambient sensor enabled at 16" <sup>10</sup> PIRH1CSV High-flow, motion/ambient sensor, 8-15' mounting height, ambient sensor enabled at 16" <sup>10</sup> PIRH1CSV2 High-flow, motion/ambient sensor, 15-30' mounting height, ambient sensor enabled at 16" <sup>10</sup> FAO Field adjustable output <sup>10,11</sup>	<b>Shipped installed</b> HS House side shield <sup>10</sup> SF Single face (120, 277, 347V) <sup>1</sup> DF Double face (208, 240, 480V) <sup>1</sup> LSO Left oriented optics <sup>1</sup> RHO Right oriented optics <sup>1</sup> NA 0°C ambient operation <sup>1</sup> <b>Shipped separately</b> BS Bird spikes <sup>10</sup> EGS External glare shield
		DDBD Dark bronze DBLD Black DNAD Natural aluminum DNWD White DDBD Textured dark bronze DBLD Textured black DNAD Textured natural aluminum DNWD Textured white

LITHONIA COMMERCIAL OUTDOOR  
 One Lithonia Way • Conyers, Georgia 30012 • Phone: 1-800-705-SERV (3788) • www.lithonia.com  
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 DSX1-LED Rev. 07/20/20 Page 1 of 8



KENT COUNTY DEPARTMENT OF PUBLIC WORKS  
 KENT COUNTY HEALTH OFFICER  
 SEAL  
 DATE

KENT SOIL CONSERVATION DISTRICT

**REVISION**  
 DATE

SITE LIGHTING PHOTOMETRIC PLAN  
 ON THE LANDS OF  
**CHESTER RIVER YACHT & COUNTRY CLUB**  
 NEAR THE TOWN OF CHESTERTOWN  
 TAX MAP - 44, GRID - 3D, PARCEL - 15  
 SEVENTH ELECTION DISTRICT, KENT COUNTY, MARYLAND  
 PREPARED FOR : CHESTER RIVER YACHT & COUNTRY CLUB

SCALE  
 OCTOBER 20  
 JOB No.  
 2019034  
 TOLDER #44  
 44-2019.34  
 SHEET No. - SL-1  
 CADD FILE - REL\_20-24\_SL1

DRAWN BY  
 RAR  
 DESIGNED BY  
 RAR  
 SHEET No. - SL-1

**DAVIS, MOORE, SHEARON & ASSOCIATES, LLC**  
 ENGINEERING, DRAFTING/DESIGN,  
 ENVIRONMENTAL SERVICES & SURVEYING  
 P.O. BOX 80  
 CHESTERVILLE, MARYLAND 21617  
 PHONE: 410-546-9100  
 FAX: 1-443-262-9148

P.O. Box 3640    INFO@RENSHAWENGINEERING.COM  
 SALESBURY, MD 21802    PHONE: 410-546-1870  
 WWW.RENSHAWENGINEERING.COM    FAX: 800-742-6705

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## Kent County Department of Planning, Housing, and Zoning

To: Kent County Planning Commission  
From: Rob Tracey, Community Planner  
Meeting: January 7, 2021  
Subject: Delmarva Power & Light Company, Chestertown Substation  
Final Site Plan Review

### EXECUTIVE SUMMARY

#### **Request by Applicant**

Delmarva Power & Light Company is requesting final site plan approval to expand the existing substation located at 509 Morgnec Road (Parcel 82), to the recently purchased adjacent parcel located at 511 Morgnec Road (Parcel 85). The property, just outside of the Town of Chestertown, totals 2.40 acres and is located in the Fourth Election District.

#### **Public Process**

Per Maryland State Law and Article VI, Section 5 of the Kent County *Land Use Ordinance* the Planning Commission shall review and approve Major Site Plans.

#### **Summary of Staff Report**

The property is zoned Commercial “C,” and the parcel is comprised of an open field with a hedgerow along the edge of Route 291. Parcel 82 is currently improved by electrical equipment and a small control building. The surrounding area is a mix of industrial uses, such as Choptank Electric Cooperative and Gillespie Pre-Cast, small commercial businesses, and agricultural land on the north side of Maryland Route 291. The south, east, and west sides of the property are screened by existing vegetation and a six-foot privacy fence. However, the northern side of the property does not have existing screening.

The applicant has sufficiently addressed all the final site plan standards as prescribed by the Kent County Land Use Ordinance.

#### **Recommendation**

Staff recommends granting final site plan approval conditioned upon:

- Approval of the sediment and erosion control and stormwater management plans.
- Submission and approval of sureties for sediment and erosion control, stormwater management, and landscaping; and
- Payment of \$4,782.70 into the Kent County Forest Conservation Fund.

## PRELIMINARY STAFF REPORT

TO: Kent County Planning Commission  
SUBJECT: Delmarva Power & Light Company, Chestertown Substation  
Final Site Plan Review  
DATE: December 29, 2020

### DESCRIPTION OF PROPOSAL

Delmarva Power & Light Company is requesting final site plan approval to expand the existing substation located at 509 Morgnec Road (Tax Map 37/Parcel 82), to the recently purchased adjacent parcel located at 511 Morgnec Road (Tax Map 37/Parcel 85). The property, just outside of the Town of Chestertown, totals 2.40 acres and is located in the Fourth Election District.

The proposed construction will occur on Parcel 85 and will include an expanded fenced gravel area containing a control building, electric transformers, and other electric distribution equipment. The property is zoned Commercial "C". Parcel 82 is currently improved by electrical equipment and a small control building. The surrounding area is a mix of industrial uses, such as Choptank Electric Cooperative and Gillespie Pre-Cast, small commercial businesses, and agricultural land on the north side of Maryland Route 291.

### GENERAL STANDARDS

#### I. Density, Height, Width, Bulk, and Fence Requirements

- A. *Comprehensive Plan*: "Insure that all new development or redevelopment meets a high standard of planning, workmanship, and design." (Page 21)
- B. *Applicable Law*: Article V, Section 11.5 of the Kent County Land Use Ordinance establishes the Density, Height, Width, Bulk, and Fence Requirements.
- C. *Staff and TAC Comments*: The proposed substation expansion meets the required setbacks.

#### II. Commercial Specific Design Standards

- A. *Applicable Law: Article V, Section 11.B* of the Kent County *Land Use Ordinance* establishes the design standards which address site access, landscaping, screening, and lighting. Screening is required to protect adjoining properties and roadways from noise, glare, and uses which are visually incompatible with neighboring land uses. Screening is also required where exterior storage areas are visible from roadways, sidewalks, or nearby residential properties, or where the Planning Commission determines that additional screening is necessary to protect properties in the area. Screening and fencing shall be maintained in at least the same quality and quantity as initially approved.

Lighting on the site should be sufficient to provide for the safety and security of the business, its employees, and its customers. Lighting should also be designed to avoid glare onto adjacent properties and adjacent roadways and not interfere with traffic or create a safety hazard.

#### B. *Staff and TAC Comments*:

- The access to the project is adequate and the roads which will be impacted have the capacity to handle the traffic generated by the proposed project and will not endanger the safety of the general public.
- A landscaping plan has been submitted. The proposed plan is a mix of understory and canopy plants on the northern property line along Route 291. The proposed screening will adequately protect adjoining properties and roadways from noise and glare.

- Lighting detail has been provided. Dark sky compatible lighting is proposed on the new control building and near the new electrical transformers. The proposed lighting appears to be designed to avoid glare onto adjacent properties and roadways, while being sufficient to provide for the security of the business and not interfering with traffic or creating a roadway safety hazard.

### III. Commercial Environmental Standards

A. *Applicable Law.* Article V, Section 11.7 of the Kent County *Land Use Ordinance* establishes the Commercial Environmental Standards, which include forest conservation and stormwater management standards.

B. *Staff and TAC comments:* A Forest Conservation Plan has been submitted. The project site is comprised of 2.4 acres and the required afforestation is 0.36 acres or 15,681 square feet. Due to site limitations and safety concerns of planting near an electrical substation, the applicant has proposed to meet afforestation requirements by paying into the Kent County Forest Conservation fund at a rate of 30.5 cents per square foot of required afforestation. At this time, the \$4,782.70 payment has not been received.

Sediment and erosion control and stormwater management plans have not been approved at this time but have been submitted for review. Proposed stormwater management consists of the installation of permeable geo-grid gravel surface. Sediment control consists of a stabilized construction entrance and silt fence. The appropriate cost estimates have been submitted and sureties are required.

### IV. Parking and Loading

A. *Applicable Law:* Article VI, Section 1.3 of the Kent County *Land Use Ordinance* establishes the parking standards for industrial uses.

B. *Staff and TAC Comments:* The driveway to the site is sufficiently long enough to clear Morgnec Road to allow parking for maintenance workers outside of the fenced area. Parking is also available within the fenced area near the control building.

### V. Site Plan Review

A. *Comprehensive Plan:* “Insure that all new development or redevelopment meets a high standard of planning, workmanship, and design.” (Page 21)

“Coordinate project review with the incorporated towns.” (Page 19)

“Require developers to work with a citizen’s participation program.” (Page 18)

B. *Applicable Law:* Article VI, Section 5 of the Kent County *Land Use Ordinance* establishes the procedures and requirements for site plan review. Site Development Plans are required to ensure that new development complies with the Comprehensive Plan, Land Use Ordinance, Village Master Plans and other agency requirements, thereby promoting the health, safety, and general welfare of Kent County residents.

At each stage of review the Planning Commission shall review the site plan and supporting documents taking into consideration the reasonable fulfillment of the following objectives:

- a. Conformance with the Comprehensive Plan and, where applicable, the Village Master Plan.
- b. Conformance with the provisions of all applicable rules and regulations of county, state, and federal agencies.

- c. Convenience and safety of both vehicular and pedestrian movement within the site and in relationship to adjoining ways and properties.
- d. Provisions for the off-street loading and unloading of vehicles incidental to the normal operation of the establishment, adequate lighting, and internal traffic control.
- e. Reasonable demands placed on public services and infrastructure.
- f. Adequacy of methods for sewage and refuse disposal, and the protection from pollution of both surface waters and groundwater. This includes minimizing soil erosion both during and after construction.
- g. Protection of abutting properties and County amenities from any undue disturbance caused by excessive or unreasonable noise, smoke, vapors, fumes, dust, odors, glare, stormwater runoff, etc.
- h. Minimizing the area over which existing vegetation is to be removed. Where tree removal is required, special attention shall be given to planting of replacement trees.
- i. The applicant's efforts to integrate the proposed development into the existing landscape through design features such as vegetative buffers, roadside plantings, and the retention of open space and agricultural land.
- j. The building setbacks, area, and location of parking, architectural compatibility, signage, and landscaping of the development, and how these features harmonize with the surrounding townscape and the natural landscape.

In addition, the applicant is to provide a narrative that addresses a Citizen Participation Plan and a report with the results.

C. *Staff and TAC Comments:*

- The proposal is consistent with many strategies and goals of the Comprehensive Plan.
- The proposed use should not require excessive use of other public infrastructure.
- The applicant has noted that this area is removed from any interaction with the public; as such, all vehicular and pedestrian movements will be governed by the Company in strict compliance with workplace safety.
- Lighting plans have been submitted and adequate dark sky compatible lighting is proposed.
- A citizen participation plan was held on September 17, 2020.
- Stormwater management and sediment control plans have been submitted for review.
- Forest conservation will be addressed by payment of \$4,782.70 into the Forest Conservation Fund. This payment has not been received at this time.
- Landscaping plans and building renderings have been submitted. Landscaping comprised of both understory and canopy plants are proposed on the northern property line along Route 291.
- The building's design and the landscaping of the development include features that will harmonize with the surrounding townscape and the natural landscape.
- No signage has been proposed.

## **STAFF RECOMMENDATION**

Staff recommends granting final site plan approval conditioned upon:

- Approval of the sediment and erosion control and stormwater management plans.
- Submission and approval of sureties for sediment and erosion control, stormwater management, and landscaping; and
- Payment of \$4,782.70 into the Kent County Forest Conservation Fund.



# Delmarva Power & Light Company of Maryland - Chestertown Substation Site Plan Review



Source: Kent County Department of Planning, Housing, and Zoning.  
Aerial taken Spring 2019. Map prepared December, 2020.

1 inch = 200 feet

**Kent County Department of Planning, Housing and Zoning**

Kent County Government Center  
400 High Street • Chestertown, MD 21620  
410-778-7475 (phone) • 410-810-2932 (fax)

**SITE PLAN APPLICATION**

File Number: 20-24 Amount Paid: \_\_\_\_\_ Date: 7-16-20

Project Name: Delmarva, Chestertown Substation Expansion

District: 4th Map: 37 Parcel: 82 & 85 Lot Size: 2.4 ac Deed Ref: 979/160 Zoning: C

LOCATION: 509 Morgnac Road, Chestertown, MD

PROPOSED USE: Electric Substation

**OWNER OF LAND:**

Name: Delmarva Power & Light Co Telephone: 302-454-4644

Address: Po Box 9239, Newark, DE 19714 Email: david.seay@delmarva.com

**APPLICANT:**

Name: Same Telephone: \_\_\_\_\_

Address: \_\_\_\_\_ Email: \_\_\_\_\_

**AGENT/ATTORNEY (if any):**

Name: N/A Telephone: \_\_\_\_\_

Address: \_\_\_\_\_ Email: \_\_\_\_\_

**REGISTERED ENGINEER OR SURVEYOR:**

Name: Duffield Associates, Inc Telephone: 302-239-6634

Address: 5400 Limestone Road, Wilmington, DE 19808 Email: jfellows@duffnet.com

**Please provide the email of the one person who will be responsible for responding to comments. Only this person will be contacted by staff and will be the person responsible for forwarding the comments or requests for additional information to any other interested parties. EMAIL: jfellows@duffnet.com**

Water Supply:  Public System  On lot system  No water required (N/A)

Sewerage:  Public System  On lot system  No Sewage required (N/A)

TELEPHONE SERVICED BY: N/A

ELECTRIC SERVICED BY: Delmarva

**NOTICE: The Planning Office is not required to make out this Application. If the Planning Department assists you, it cannot be held responsible for its contents.**

 AGENT 7-16-20  
Signature of Applicant Date

Concept Plan Approving Authority: \_\_\_\_\_ Date \_\_\_\_\_

Preliminary Approving Authority: \_\_\_\_\_ Date \_\_\_\_\_

Final Approving Authority: \_\_\_\_\_ Date \_\_\_\_\_

June 1, 2020

Kent County Department of Planning & Zoning  
400 High Street  
Chesertown, MD 21620

RE: Project No. 12385.CA  
Delmarva Power & Light Co.  
Chesertown Substation  
Project Narrative

### **Overview**

Delmarva Power & Light Company is proposing to expand the existing substation located at 509 Morgnec Road, Chestertown, MD, Tax map 37, Parcel 82 to the recently purchased adjacent parcel located at 511 Morgnec Road, Chestertown, MD, tax map 37, Parcel 85. The proposed expansion will include an expanded fenced gravel area containing a control building, electric transformers and other electric distribution equipment. One access drive to the existing portion of the substation is to remain and one access drive is to be removed. The existing drive for the previous house (previously demolished) will be removed and a new access drive to the substation expansion area is proposed. State Highway Administration approval is required for this new driveway access.

### **Owner**

Delmarva Power and Light Company  
Po Box 9239  
Newark, DE 19714-9239  
302-454-4644

### **Site Information**

Lot area parcel 82 = 1.72 ac  
Lot area parcel 85 = 0.68 ac  
Total combine lot area = 2.4 ac  
Zoning = C Commercial

### **Current Use**

Parcel 82 is currently an electrical substation  
Parcel 85 is currently vacant

### **Views**

North – obstructed by vegetation  
South (Morgnec Road) unobstructed  
East - obstructed by vegetation

West - obstructed by 6 foot privacy fence.

**Compliance with Comprehensive Plan**

Based on review of the comprehensive plan the site is located in the Non-Priority Preservation Area and is located in the Designated Growth Area. The site is zoned Commercial and is consistent with the zoning.

**Water Sewer**

The site will be un-manned and therefore there is no need for water and sewer.

**Employees**

The site will be un-manned and therefore there are no permanent employees. There will be routine maintenance activities which may result in a vehicle with employees occupying the site once a week.

**Schedule**

Planning, permits and approval by the fall of 2020.  
Construction between winter of 2020 and fall of 2021.

**Ownership and Maintenance**

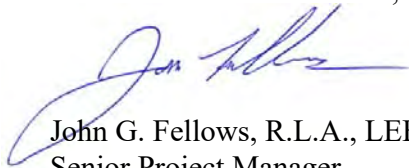
The ownership and maintenance of the future improvements will be Delmarva Power and Light Company.

**Citizen Participation**

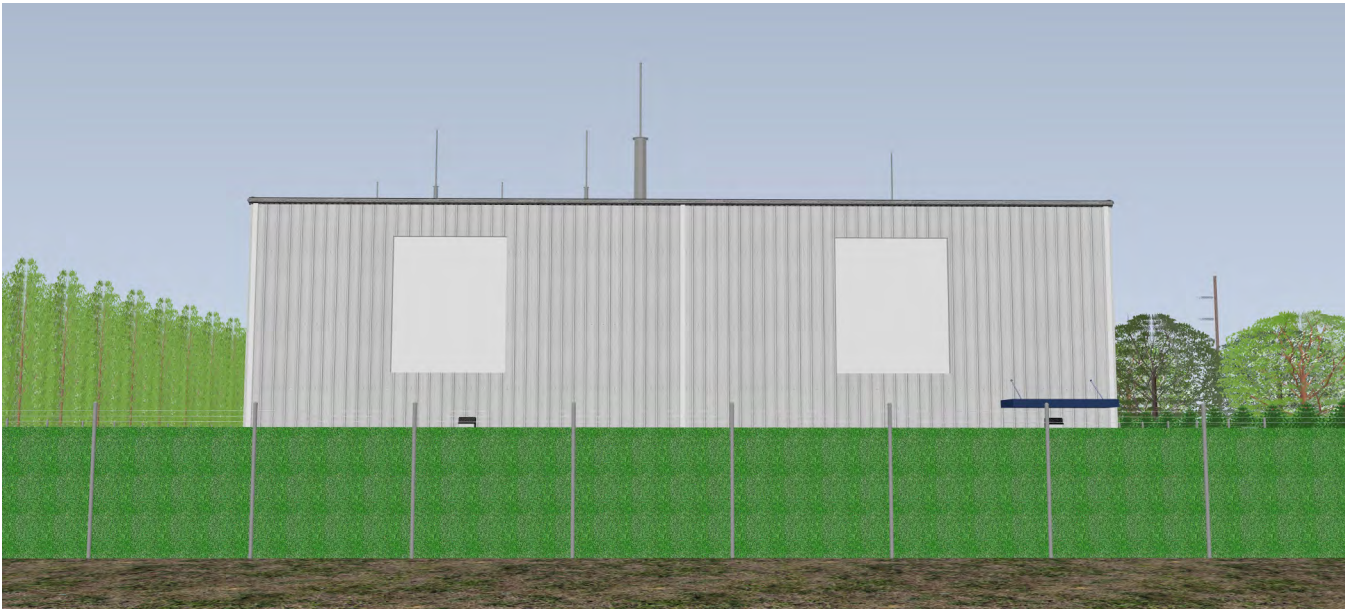
Delmarva Power and Light Company Public Relations Group will be responsible for citizen participation.

Very truly yours,

DUFFIELD ASSOCIATES, INC.



John G. Fellows, R.L.A., LEED AP  
Senior Project Manager



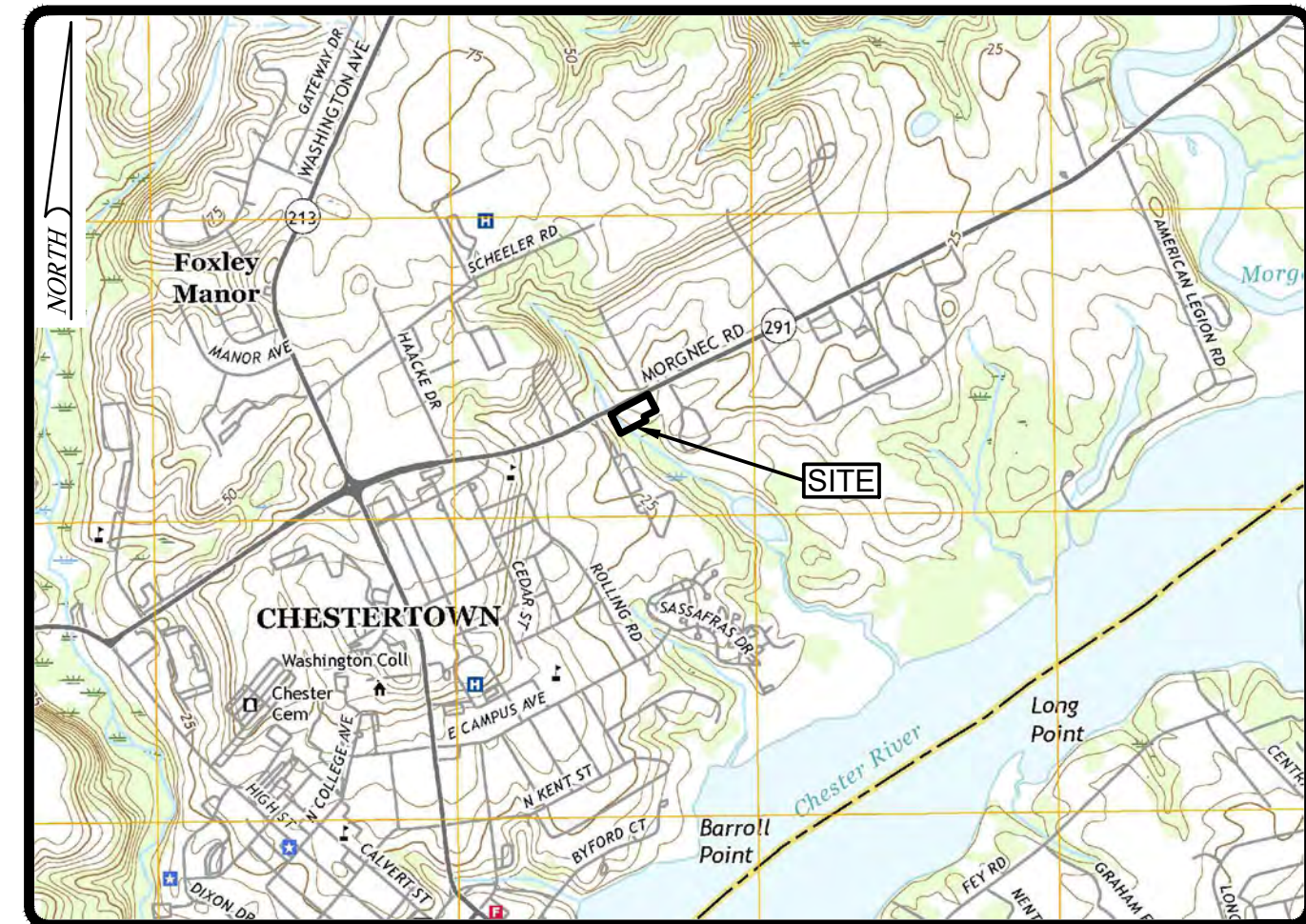
# FINAL MAJOR SITE & CONSTRUCTION PLANS

FOR  
**"CHESTERTOWN SUBSTATION"**  
 DELMARVA POWER & LIGHT CO.  
 TAX MAP 37, GRID 3E, PARCELS 82 & 85  
 FOURTH ELECTION DISTRICT ~ KENT COUNTY ~ MARYLAND

C-COMMERCIAL ZONING DATA	
MINIMUM LOT SIZE:	N/A
MINIMUM LOT FRONTAGE:	100'
MINIMUM FRONT YARD SETBACK:	50'
MINIMUM SIDE & REAR YARD SETBACK:	30' (ADJACENT TO COMMERCIAL) 50' (OTHER ZONING DISTRICTS)

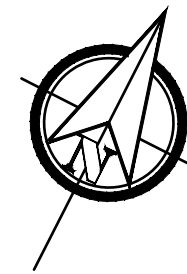


**Know what's below.  
 Call before you dig.**

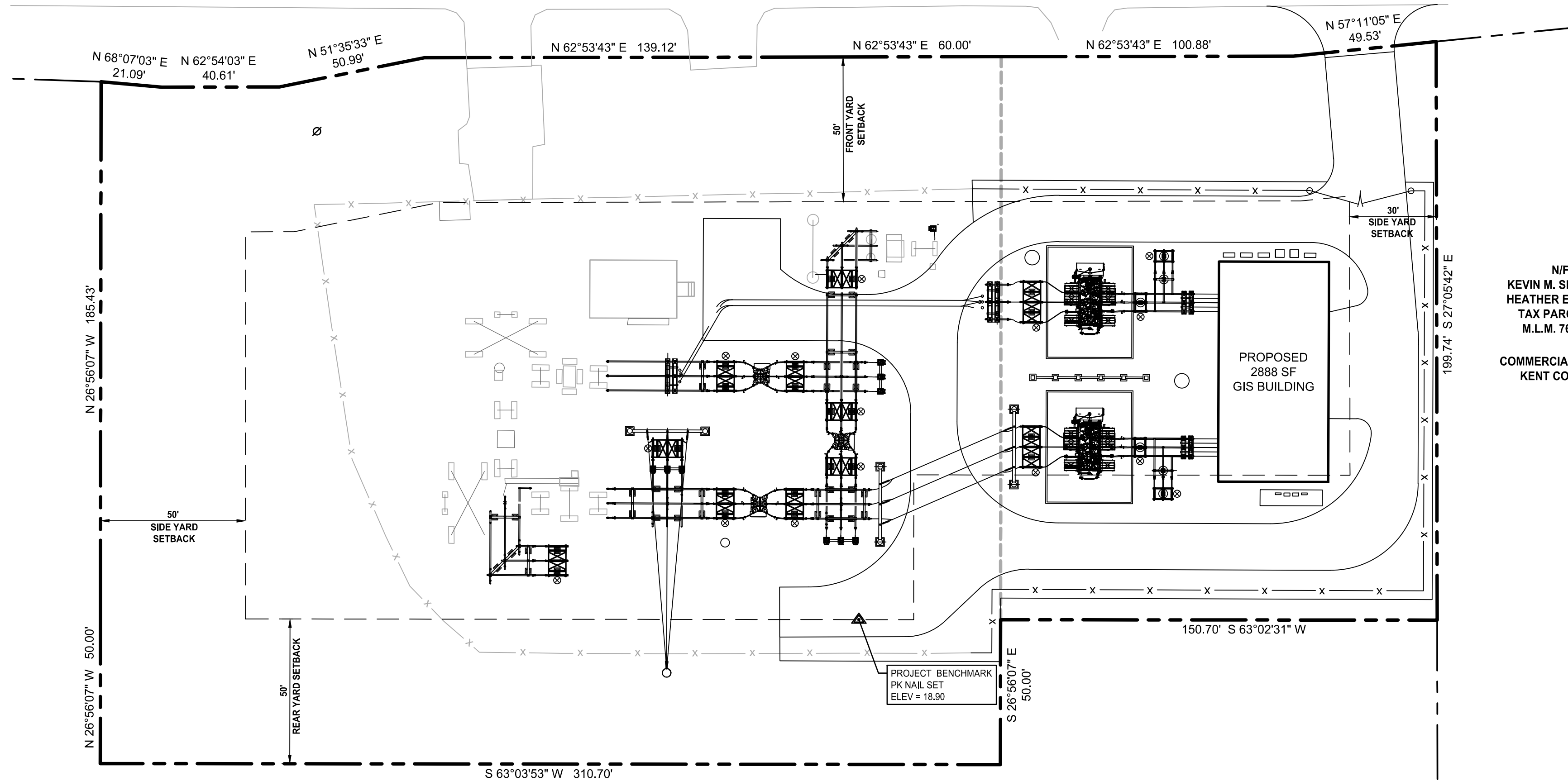


USGS QUAD MAP: CHESTERTOWN, MD 2017 LOCATION MAP SCALE: 1" = 2,000'

INDEX OF SHEETS:	
SHEET 1 - COVER SHEET	
SHEET 2 - EXISTING CONDITIONS & DEMOLITION PLAN	
SHEET 3 - PRE-BULK GRADING PLAN / SEDIMENT CONTROL PLAN	
SHEET 4 - SITE PLAN	
SHEET 5 - LINES & GRADES / STORMWATER MANAGEMENT PLAN	
SHEET 6 - LANDSCAPE PLAN	
SHEET 7 - EROSION & SEDIMENT CONTROL DETAILS	



MD. RTE. 291  
 (MORGNEC ROAD)  
 (VARIABLE WIDTH RIGHT-OF-WAY)



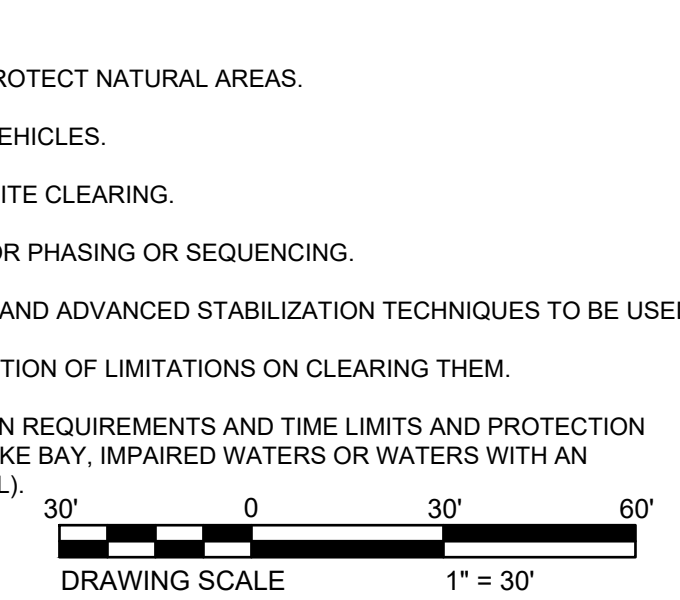
N/F  
 KEVIN M. SHERTZ &  
 HEATHER E. OLAND  
 TAX PARCEL 83  
 M.L.M. 766/430  
 COMMERCIAL ZONING  
 KENT COUNTY

SITE DATA:																											
1. TAX PARCEL NOS.:	TAX MAP 37, GRID 3E, PARCELS 82 & 85																										
2. OWNER/APPLICANT:	DELMARVA POWER & LIGHT CO. P.O. BOX 9239 NEWARK, DE 19714																										
3. SOURCES OF TITLE:	LIBER 25, FOLIO 28 & DEED REF. 979/160																										
4. SITE ADDRESS:	509 MORGNEC ROAD CHESTERTOWN, MD 21620																										
5. ENGINEER:	DUFFIELD ASSOCIATES, INC. 5400 LIMESTONE ROAD WILMINGTON, DE 19808																										
6. ZONING:	C (COMMERCIAL)																										
7. TOTAL ACREAGE:	2.40± ACRES																										
8. TOTAL DISTURBED ACREAGE:	1.35± ACRES																										
9. LOT COVERAGE:	56,642 SF - 1.30 ACRES - 54%																										
10. VERTICAL DATUM:	NAVD 88																										
11. BEARING REFERENCE SYSTEM:	MARYLAND STATE PLANE (NAD83)																										
12. SITE COVERAGE:	<table border="0"> <tr> <td>EXISTING CONDITIONS:</td> <td></td> </tr> <tr> <td>BUILDINGS &amp; CONCRETE</td> <td>3036 SF - 0.07 ACRE - 3%</td> </tr> <tr> <td>GRAVEL</td> <td>37,920 SF - 0.87 ACRE - 36%</td> </tr> <tr> <td>GRASS</td> <td>63,588 SF - 1.46 ACRES - 61%</td> </tr> <tr> <td>TOTAL</td> <td>104,544 SF - 2.40 ACRES - 100%</td> </tr> <tr> <td>PROPOSED CONDITIONS:</td> <td></td> </tr> <tr> <td>BUILDINGS &amp; CONCRETE</td> <td>3752 SF - 0.09 ACRE - 3%</td> </tr> <tr> <td>EXISTING GRAVEL TO REMAIN</td> <td>27,445 SF - 0.63 ACRE - 26%</td> </tr> <tr> <td>UNCOMPACTED GRAVEL</td> <td>11,939 SF - 0.27 ACRE - 12%</td> </tr> <tr> <td>COMPACTED GRAVEL</td> <td>7585 SF - 0.17 ACRE - 7%</td> </tr> <tr> <td>GEO-GRID</td> <td>5924 SF - 0.14 ACRE - 6%</td> </tr> <tr> <td>GRASS</td> <td>47,902 SF - 1.10 ACRES - 46%</td> </tr> <tr> <td>TOTAL</td> <td>104,544 SF - 2.40 ACRES - 100%</td> </tr> </table>	EXISTING CONDITIONS:		BUILDINGS & CONCRETE	3036 SF - 0.07 ACRE - 3%	GRAVEL	37,920 SF - 0.87 ACRE - 36%	GRASS	63,588 SF - 1.46 ACRES - 61%	TOTAL	104,544 SF - 2.40 ACRES - 100%	PROPOSED CONDITIONS:		BUILDINGS & CONCRETE	3752 SF - 0.09 ACRE - 3%	EXISTING GRAVEL TO REMAIN	27,445 SF - 0.63 ACRE - 26%	UNCOMPACTED GRAVEL	11,939 SF - 0.27 ACRE - 12%	COMPACTED GRAVEL	7585 SF - 0.17 ACRE - 7%	GEO-GRID	5924 SF - 0.14 ACRE - 6%	GRASS	47,902 SF - 1.10 ACRES - 46%	TOTAL	104,544 SF - 2.40 ACRES - 100%
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- NOTES:**
- THE PURPOSE OF THIS PLAN IS TO SHOW THE CONSTRUCTION RELATED TO THE EXPANSION OF THE CHESTERTOWN SUBSTATION.
  - BOUNDARY AND TOPOGRAPHIC INFORMATION TAKEN FROM SURVEYS FOR THE CHESTERTOWN SUBSTATION, IN FEBRUARY 2020 BY MCRONE.
  - NO DEBRIS IS TO BE BURIED ON THIS SITE.
  - PER FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 24029C-0281-D, EFFECTIVE DATE JUNE 9, 2014, THIS SITE LIES WITHIN ZONE X (AREA OF MINIMAL FLOOD HAZARD).
  - NO PARKING SPACES ARE PROPOSED FOR THIS SITE. NO PERMANENT EMPLOYEES ARE PROPOSED.
  - NO WATER OR SANITARY SEWER IMPROVEMENTS ARE PROPOSED.
  - IT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR OR SUBCONTRACTOR TO NOTIFY THE ENGINEER OF ANY DEVIATION FROM THIS PLAN. ANY CHANGES MADE ON THIS PLAN WITHOUT WRITTEN AUTHORIZATION FROM THE ENGINEER WILL PLACE RESPONSIBILITY FOR SAID CHANGE ON THE CONTRACTOR OR SUBCONTRACTOR.
  - ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATION OF ATTENDANCE AT THE DEPARTMENT OF ENVIRONMENT APPROVED TRAINING FOR THE CONTROL OF EROSION AND SEDIMENT BEFORE BEGINNING THE PROJECT.
  - AREAS INDICATED AS "OPEN UN-COMPACTED CLEAN GRAVEL" SHALL NOT BE COMPACTED OR DRIVEN ON DURING POST CONSTRUCTION.
  - SITE IS NOT LOCATED IN THE CHESAPEAKE BAY CRITICAL AREA.
  - THERE ARE NO RARE OR ENDANGERED SPECIES LOCATED ON THIS LOT.
  - THERE ARE NO HISTORIC STRUCTURES OR FEATURES LOCATED ON THIS LOT.
  - THE WETLANDS SHOWN ON THIS PLAN ARE TAKEN FROM A NATURAL RESOURCES MAP FOR THE CHESTERTOWN SUBSTATION, PREPARED BY WSP USA, INC., DATED APRIL 2020.

THE FOLLOWING ITEMS HAVE BEEN ADDRESSED TO MEET THE REQUIREMENTS OF THE GENERAL PERMIT FOR STORMWATER ASSOCIATED WITH CONSTRUCTION ACTIVITY (NPDES NUMBER MDR 10, STATE DISCHARGE PERMIT NUMBER 09GP)

- UTILIZATION OF ENVIRONMENTAL SITE DESIGN.
- MAINTENANCE OF LIMITS OF DISTURBANCE TO PROTECT NATURAL AREAS.
- CONTROL OF CONSTRUCTION EQUIPMENT AND VEHICLES.
- EVALUATION AND APPROPRIATE LIMITATION OF SITE CLEARING.
- EVALUATION AND DESIGNATION OF SITE AREA FOR PHASING OR SEQUENCING.
- IDENTIFICATION OF SOILS AT RISK FOR EROSION AND ADVANCED STABILIZATION TECHNIQUES TO BE USED.
- IDENTIFICATION OF STEEP SLOPES AND DESIGNATION OF LIMITATIONS ON CLEARING THEM.
- EVALUATION AND DESIGNATION OF STABILIZATION REQUIREMENTS AND TIME LIMITS AND PROTECTION MEASURES FOR DISCHARGES TO THE CHESAPEAKE BAY, IMPAIRED WATERS OR WATERS WITH AN ESTABLISHED TOTAL MAXIMUM DAILY LOAD (TMDL).



APPROVED - KENT COUNTY HEALTH OFFICER \_\_\_\_\_ DATE \_\_\_\_\_  
 APPROVED - KENT COUNTY PLANNING COMMISSION \_\_\_\_\_ DATE \_\_\_\_\_

APPROVED - KENT COUNTY, DEPARTMENT OF PUBLIC WORKS  
 CHIEF OF ENGINEERING \_\_\_\_\_ DATE \_\_\_\_\_

**DEVELOPERS CERTIFICATION**

- I, HEREBY CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION SHALL BE DONE ACCORDING TO THIS PLAN OF EROSION AND SEDIMENT CONTROL.
- IT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR OR SUBCONTRACTOR TO NOTIFY THE ENGINEER OF ANY DEVIATION FROM THIS PLAN. ANY CHANGES MADE IN THIS PLAN WITHOUT WRITTEN AUTHORIZATION FROM THE ENGINEER WILL PLACE RESPONSIBILITY FOR SAID CHANGE ON THE CONTRACTOR OR SUBCONTRACTOR.
- ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT THE DEPARTMENT OF ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF EROSION AND SEDIMENT BEFORE BEGINNING THE PROJECT.
- THE DEVELOPER WILL PROVIDE THE DISTRICT ONE COPY OF A RED LINE AS-BUILT DRAWING OF EACH FACILITY REQUIRING A STATE POND PERMIT.

\_\_\_\_\_  
 SIGNATURE DATE \_\_\_\_\_  
 PRINTED NAME  
**REVIEWED FOR THE KENT SOIL & WATER CONSERVATION DISTRICT AND MEETS TECHNICAL REQUIREMENTS**  
 APPROVED: \_\_\_\_\_ DATE \_\_\_\_\_  
 KENT SOIL & WATER CONSERVATION DISTRICT  
 NOTE: THE KENT SOIL & WATER CONSERVATION DISTRICT RESERVES THE RIGHT TO ADD, DELETE, MODIFY, OR OTHERWISE ALTER THE EROSION CONTROL PROVISIONS OF THIS PLAN IN THE EVENT ADDITIONAL PROTECTION BECOMES NECESSARY.

FOLLOWING INITIAL DISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN 3 CALENDAR DAYS ON ALL PERIMETER CONTROLS AND SLOPES GREATER THAN 3 TO 1, AND 7 DAYS ON ALL OTHER DISTURBED AREAS ON THE SITE.

**CERTIFICATION BY DEPARTMENT OF EMERGENCY SERVICES OFFICE OF THE FIRE MARSHAL**  
 THIS IS TO CERTIFY THAT THIS FINAL MAJOR SITE PLAN (MSP 20-24) WAS APPROVED BY THE DEPARTMENT OF EMERGENCY SERVICES - OFFICE OF THE FIRE MARSHAL ON THE \_\_\_\_ DAY OF \_\_\_\_\_, 2020.

DEPUTY FIRE MARSHAL \_\_\_\_\_ DATE \_\_\_\_\_

**CERTIFICATION BY DEPARTMENT OF PLANNING & ZONING**  
 THIS IS TO CERTIFY THAT THIS FINAL MAJOR SITE PLAN (20-24) WAS APPROVED BY THE KENT COUNTY PLANNING DIRECTOR ON THE \_\_\_\_ DAY OF \_\_\_\_\_, 2020.

DIRECTOR OF PLANNING & ZONING \_\_\_\_\_ DATE \_\_\_\_\_

**DESIGN CERTIFICATION**  
 I HEREBY CERTIFY THAT ALL SEDIMENT AND EROSION CONTROL MEASURES SHOWN ON THESE PLANS HAVE BEEN DESIGNED IN ACCORDANCE WITH THE 1994 MD STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL OR CURRENT REVISION THEREOF.

DESIGNER'S SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_  
 JOHN G. FELLOWS \_\_\_\_\_  
 PRINTED NAME MD REGISTRATION NO. 3255  
 P.E., R.L.S., OR (R.L.A.) (CIRCLE ONE)

**DUFFIELD ASSOCIATES**  
 Soil, Water & the Environment  
 5400 LIMESTONE ROAD  
 WILMINGTON, DE 19808-1232  
 TEL: 302.239.6634  
 FAX: 302.239.8485  
 OFFICES IN DELAWARE, MARYLAND, PENNSYLVANIA AND NEW JERSEY  
 WEB: HTTP://DUFFIELD.COM  
 E-MAIL: DUFFIELD@DUFFIELD.COM

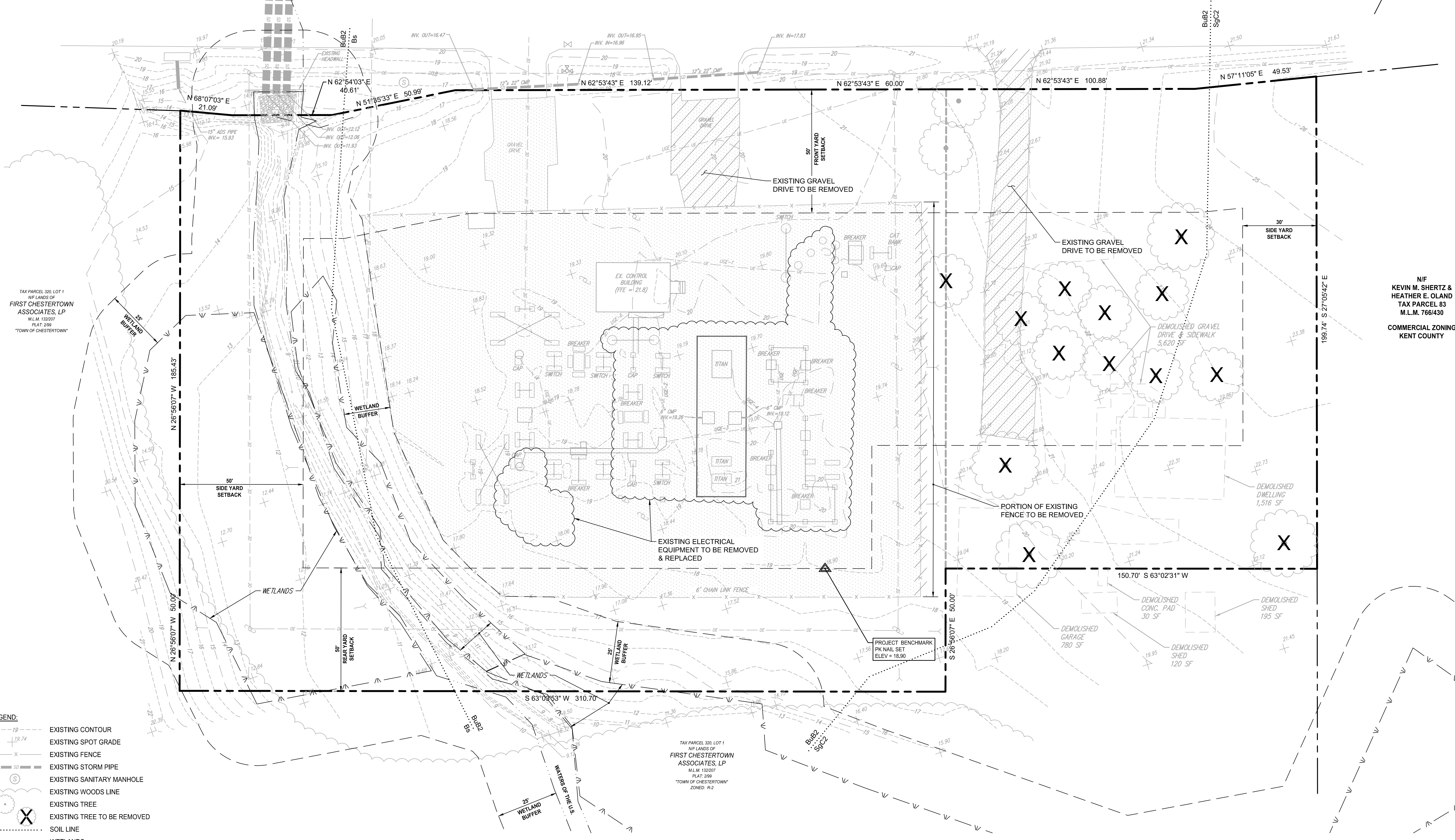
NO.	REVISION	DATE	BY	DESCRIPTION
1	PER KENT COUNTY COMMENTS	10-19-2020	GAZ	
2	PER KENT COUNTY COMMENTS	10-19-2020	GAZ	

OWNER: DELMARVA POWER & LIGHT CO.  
 P.O. BOX 9239  
 NEWARK, DE 19714

**FINAL MAJOR SITE & CONSTRUCTION PLANS**  
**COVER SHEET**  
**CHESTERTOWN SUBSTATION**  
**DELMARVA POWER & LIGHT CO.**  
 FOURTH ELECTION DISTRICT ~ KENT COUNTY ~ MARYLAND

DATE: 9 JULY 2020  
 SCALE: 1" = 30'  
 PROJECT NO. 12385.CA  
 SHEET: 1 OF 7

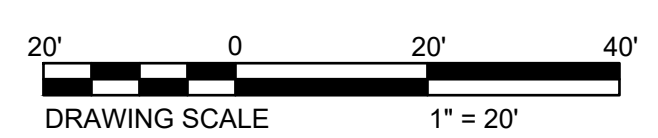
MD. RTE. 291  
(MORGNEC ROAD)  
(VARIABLE WIDTH RIGHT-OF-WAY)



- LEGEND:**
- 19- EXISTING CONTOUR
  - 19.74- EXISTING SPOT GRADE
  - x- EXISTING FENCE
  - 50- EXISTING STORM PIPE
  - ⊙ EXISTING SANITARY MANHOLE
  - ⊙ EXISTING WOODS LINE
  - ⊙ EXISTING TREE
  - ⊙ EXISTING TREE TO BE REMOVED
  - - - SOIL LINE
  - v- WETLANDS
  - - - WATERS OF THE U.S.
  - - - EXISTING DRAINAGE FLOW ARROW
  - - - EXISTING UTILITY POLE WITH GUY WIRE
  - - - OVERHEAD ELECTRIC
  - - - UNDERGROUND ELECTRIC
  - - - UNDERGROUND TELEPHONE
  - - - EXISTING GRAVEL SURFACE
  - - - EXISTING GRAVEL TO BE REMOVED
  - - - STABILIZED CONSTRUCTION ENTRANCE
  - - - S.C.E.
  - - - S.F. SILT FENCE
  - - - CFL COMPOST FILTER LOG
  - - - LOD LIMIT OF DISTURBANCE

**SOILS:**  
Bs: BIBB SILT LOAM, HYDROLOGIC SOIL GROUP B/D  
Bub2: BUTLERTOWN-MATTAPEX SILT LOAMS, 2-5% SLOPES, MODERATELY ERODED, HYDROLOGIC SOIL GROUP C  
SgC2: SASSAFRAS GRAVELLY LOAM, 5-10% SLOPES, MODERATELY ERODED, HYDROLOGIC SOIL GROUP B

**DEMOLITION NOTE:**  
THIS SITE CONTAINS A DWELLING, GARAGE, SHED AND A PORTION OF THE GRAVEL DRIVE THAT WERE DEMOLISHED IN ACCORDANCE WITH THE DEMOLITION PLAN, 511 MORGNEC ROAD, PREPARED BY DUFFIELD ASSOCIATES, LAST DATED JANUARY 16, 2019.



**DUFFIELD ASSOCIATES**  
Soil, Water & the Environment

5400 LIMESTONE ROAD  
WILMINGTON, DE 19808-1232  
TEL: 302.239.6634  
FAX: 302.239.8485

OFFICES IN DELAWARE, MARYLAND, PENNSYLVANIA AND NEW JERSEY  
WEB: HTTP://DUFFINET.COM  
E-MAIL: DUFFIELD@DUFFINET.COM

CHECKED BY: [ ]  
DESIGNED BY: [ ]  
DRAWN BY: [ ]  
FILE NAME: 12385CA-Cor2  
JOHN G. FELLOWS, R.L.A.  
STATE MARYLAND

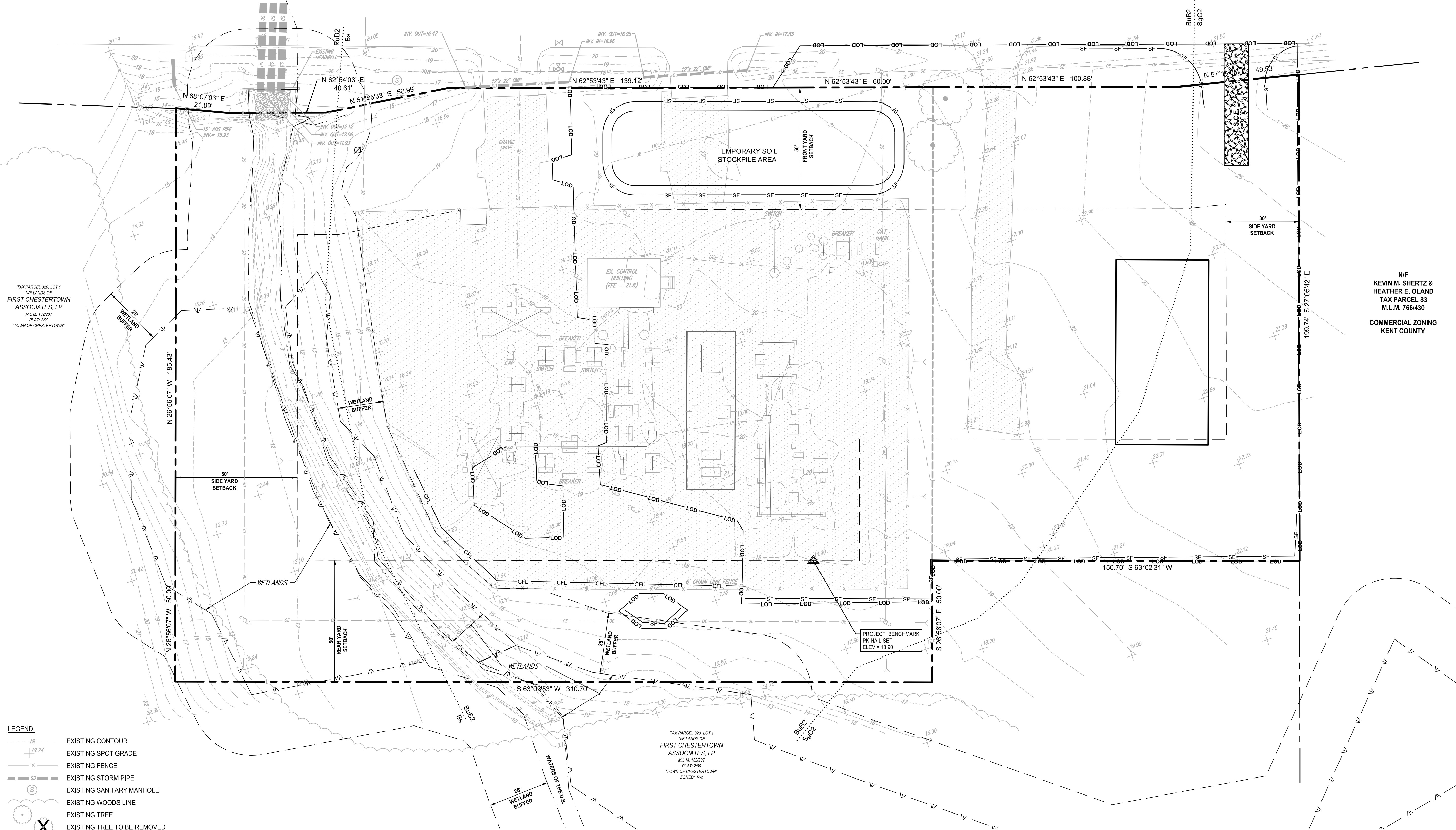
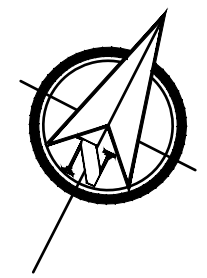
NO.	REVISION	DATE	BY	DESCRIPTION
1	PER KENT COUNTY COMMENTS	10-20-2020	GAZ	
2	PER KENT COUNTY COMMENTS	10-19-2020	GAZ	

OWNER: DELMARVA POWER & LIGHT CO.  
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NEWARK, DE 19714

**FINAL MAJOR SITE & CONSTRUCTION PLANS  
EXISTING CONDITIONS & DEMOLITION PLAN  
CHESTERTOWN SUBSTATION  
DELMARVA POWER & LIGHT CO.  
FOURTH ELECTION DISTRICT ~ KENT COUNTY ~ MARYLAND**

DATE: 9 JULY 2020  
SCALE: 1" = 20'  
PROJECT NO. 12385.CA  
SHEET: 2 OF 7

MD. RTE. 291  
(MORGNEC ROAD)  
(VARIABLE WIDTH RIGHT-OF-WAY)



- LEGEND:**
- 19- - - - - EXISTING CONTOUR
  - 19.74- - - - - EXISTING SPOT GRADE
  - x- - - - - EXISTING FENCE
  - S- - - - - EXISTING STORM PIPE
  - S- - - - - EXISTING SANITARY MANHOLE
  - W- - - - - EXISTING WOODS LINE
  - X- - - - - EXISTING TREE
  - X- - - - - EXISTING TREE TO BE REMOVED
  - - - - - SOIL LINE
  - W- - - - - WETLANDS
  - - - - - WATERS OF THE U.S.
  - >- - - - - EXISTING DRAINAGE FLOW ARROW
  - - - - - EXISTING UTILITY POLE WITH GUY WIRE
  - - - - - OVERHEAD ELECTRIC
  - - - - - UNDERGROUND ELECTRIC
  - - - - - UNDERGROUND TELEPHONE
  - - - - - EXISTING GRAVEL SURFACE
  - - - - - EXISTING GRAVEL TO BE REMOVED
  - S.C.E.- - - - - STABILIZED CONSTRUCTION ENTRANCE
  - SF- - - - - SILT FENCE

- SOILS:**
- Bs: BIBB SILT LOAM, HYDROLOGIC SOIL GROUP B/D
  - BuB2: BUTLERTOWN-MATTAPEX SILT LOAMS, 2-5% SLOPES, MODERATELY ERODED, HYDROLOGIC SOIL GROUP C
  - SgC2: SASSAFRAS GRAVELLY LOAM, 5-10% SLOPES, MODERATELY ERODED, HYDROLOGIC SOIL GROUP B

TAX PARCEL 320, LOT 1  
NF LANDS OF  
FIRST CHESTERTOWN  
ASSOCIATES, LP  
M.L.M. 132007  
PLAT: 399  
TOWN OF CHESTERTOWN

TAX PARCEL 320, LOT 1  
NF LANDS OF  
FIRST CHESTERTOWN  
ASSOCIATES, LP  
M.L.M. 132007  
PLAT: 399  
TOWN OF CHESTERTOWN  
ZONED: R-2

N/F  
KEVIN M. SHERTZ &  
HEATHER E. OLAND  
TAX PARCEL 83  
M.L.M. 766430  
COMMERCIAL ZONING  
KENT COUNTY

**DUFFIELD ASSOCIATES**  
Soil, Water & the Environment

5400 LIMESTONE ROAD  
WILMINGTON, DE 19808-1232  
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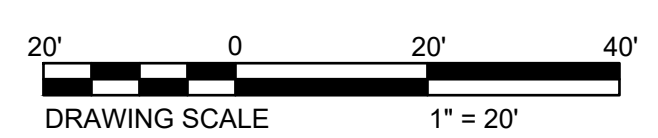
CHECKED BY: \_\_\_\_\_  
DESIGNED BY: \_\_\_\_\_  
FILE NAME: 12385CA-Cor2  
DRAWN BY: CAZ  
JOHN G. FELLOWS, R.L.A.  
STATE MARYLAND

NO.	REVISION
1	PER KENT COUNTY COMMENTS
2	PER KENT COUNTY COMMENTS

OWNER: DELMARVA POWER & LIGHT CO.  
P.O. BOX 9239  
NEWARK, DE 19714

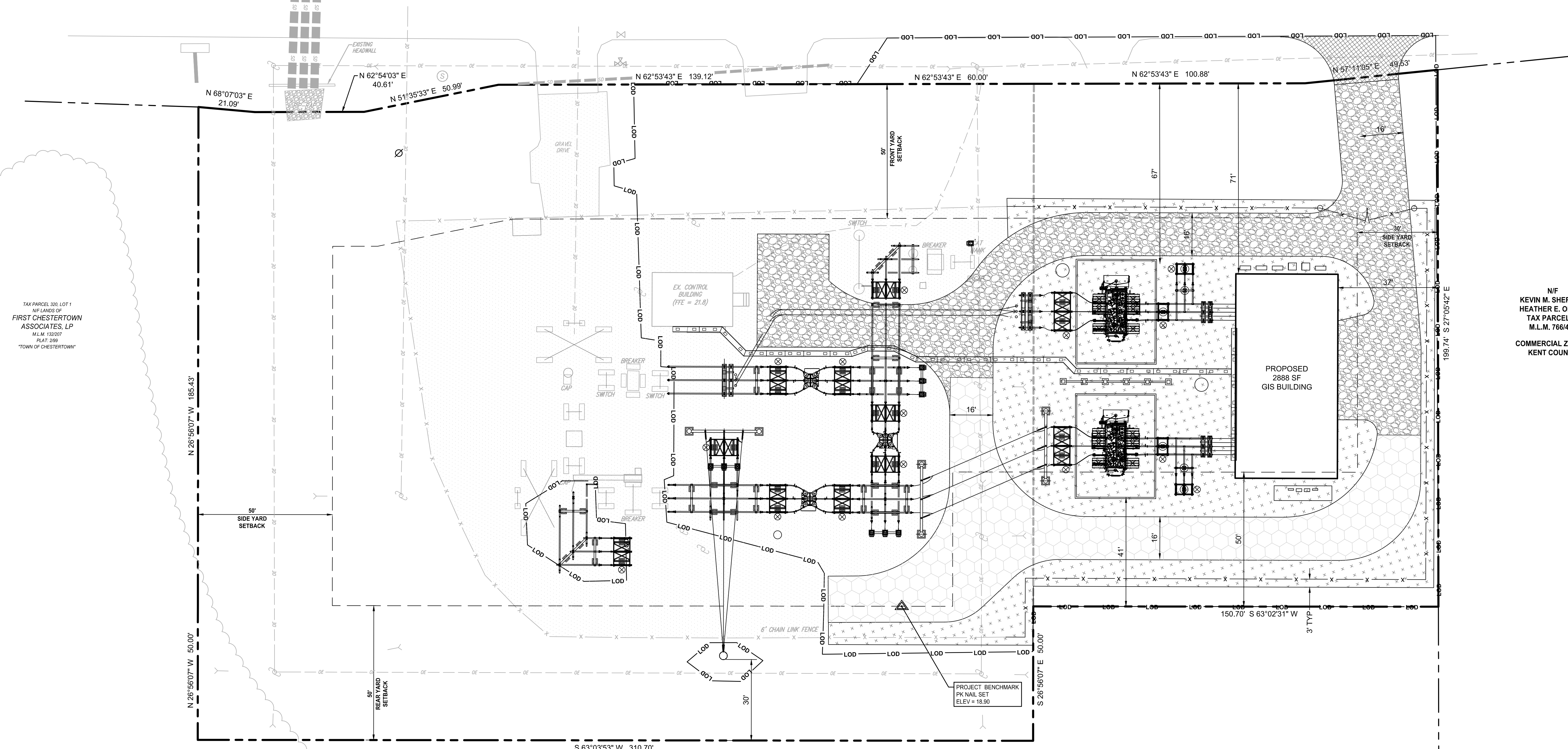
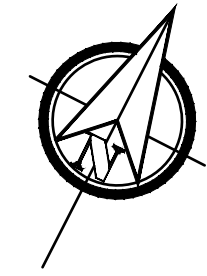
**FINAL MAJOR SITE & CONSTRUCTION PLANS**  
**PRE-BULK GRADING/SEDIMENT CONTROL PLAN**  
**CHESTERTOWN SUBSTATION**  
**DELMARVA POWER & LIGHT CO.**  
FOURTH ELECTION DISTRICT ~ KENT COUNTY ~ MARYLAND

DATE: 9 JULY 2020  
SCALE: 1" = 20'  
PROJECT NO. 12385.CA  
SHEET: 3 OF 7





MD. RTE. 291  
(MORGNEC ROAD)  
(VARIABLE WIDTH RIGHT-OF-WAY)



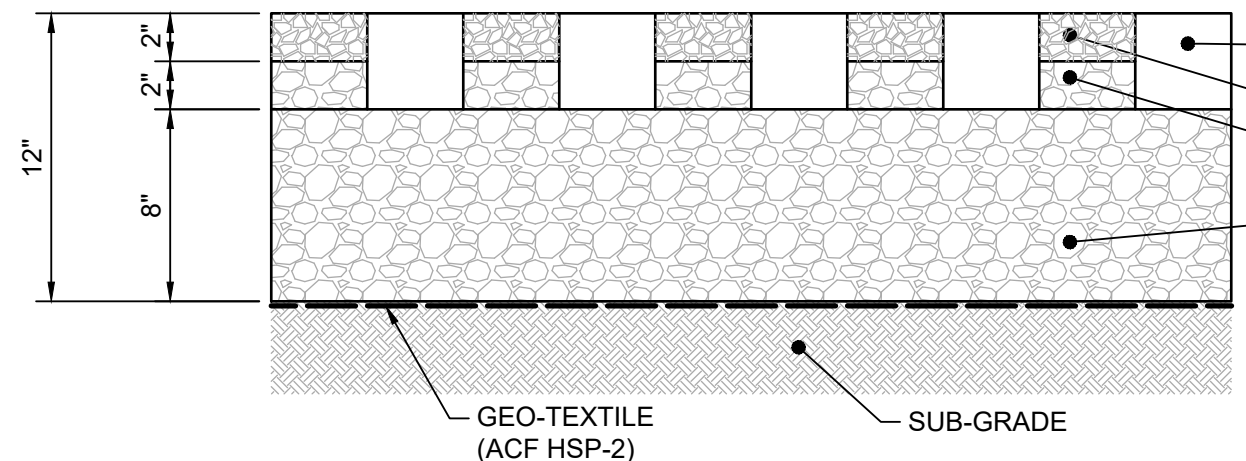
TAX PARCEL 320, LOT 1  
N/F LANDS OF  
FIRST CHESTERTOWN  
ASSOCIATES, LP  
M.L.M. 13/207  
PLAT 399  
TOWN OF CHESTERTOWN

N/F  
KEVIN M. SHERTZ &  
HEATHER E. OLAND  
TAX PARCEL 83  
M.L.M. 766430  
COMMERCIAL ZONING  
KENT COUNTY

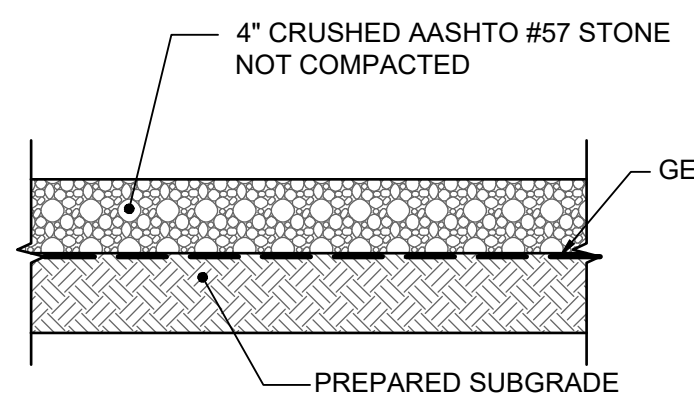
- MAINTENANCE NOTES:**
- FOR THE FIRST 6 MONTHS FOLLOWING CONSTRUCTION, THE GEO-WEB SURFACE SHOULD BE INSPECTED AT LEAST TWICE AFTER STORM EVENTS THAT EXCEED 1/2" OF RAINFALL. CONDUCT ANY NEEDED REPAIRS OR STABILIZATION.
  - STABILIZE THE CONTRIBUTING AREA TO PREVENT EROSION AS NEEDED.
  - REMOVE ANY SOIL OR SEDIMENT DEPOSITED ON THE GEO-WEB.
  - REPLACE OR REPAIR ANY NECESSARY GEO-WEB AREA THAT IS DEGENERATING.

TAX PARCEL 320, LOT 1  
N/F LANDS OF  
FIRST CHESTERTOWN  
ASSOCIATES, LP  
M.L.M. 13/207  
PLAT 399  
TOWN OF CHESTERTOWN  
ZONED: R-2

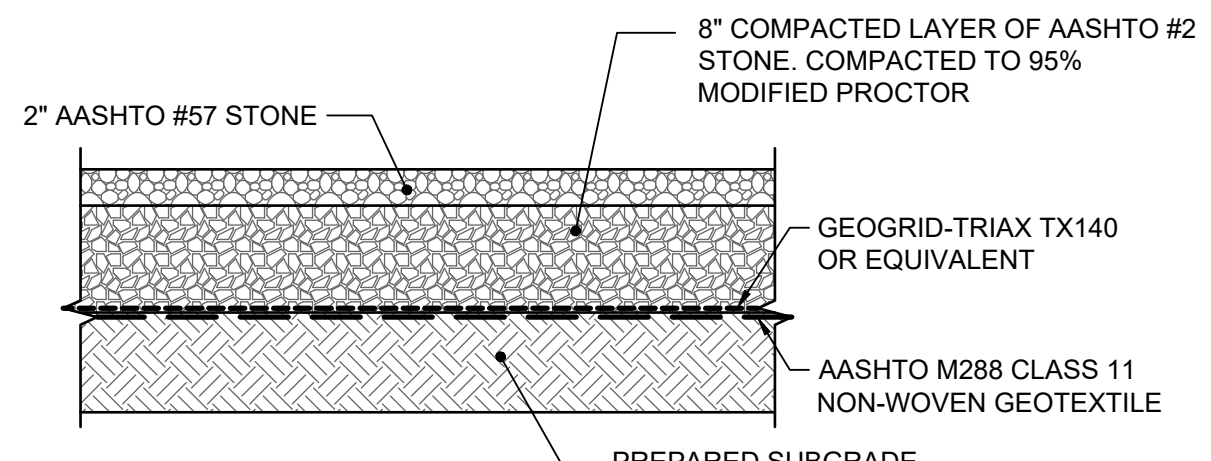
- LEGEND:**
- EXISTING FENCE
  - PROPOSED FENCE
  - EXISTING WOODS LINE
  - EXISTING TREE
  - EXISTING UTILITY POLE WITH GUY WIRE
  - OVERHEAD ELECTRIC
  - UNDERGROUND ELECTRIC
  - UNDERGROUND TELEPHONE
  - EXISTING GRAVEL TO REMAIN
  - PROPOSED GEO-GRID
  - PROPOSED UN-COMPACTED GRAVEL
  - PROPOSED AGGREGATE MAINTENANCE AREA
  - PROPOSED ASPHALT
  - L00 LIMIT OF DISTURBANCE



**DETAIL: GEO-GRID DRIVING SURFACE**  
SCALE: NONE



**DETAIL: UNCOMPACTED GRAVEL "YARD" SURFACE**  
SCALE: NONE



**DETAIL: AGGREGATE MAINTENANCE AREA**  
SCALE: NO SCALE



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WEB: HTTP://DUFFIELD.COM  
E-MAIL: DUFFIELD@DUFFIELD.COM

CHECKED BY: [Signature]  
DESIGNED BY: JGE  
DRAWN BY: CAZ  
FILE NAME: 12385CA-Cour  
JOHN G. FELLOWS, R.L.A.  
STATE MARYLAND

NO.	REVISION
1	PER KENT COUNTY COMMENTS
2	PER KENT COUNTY COMMENTS

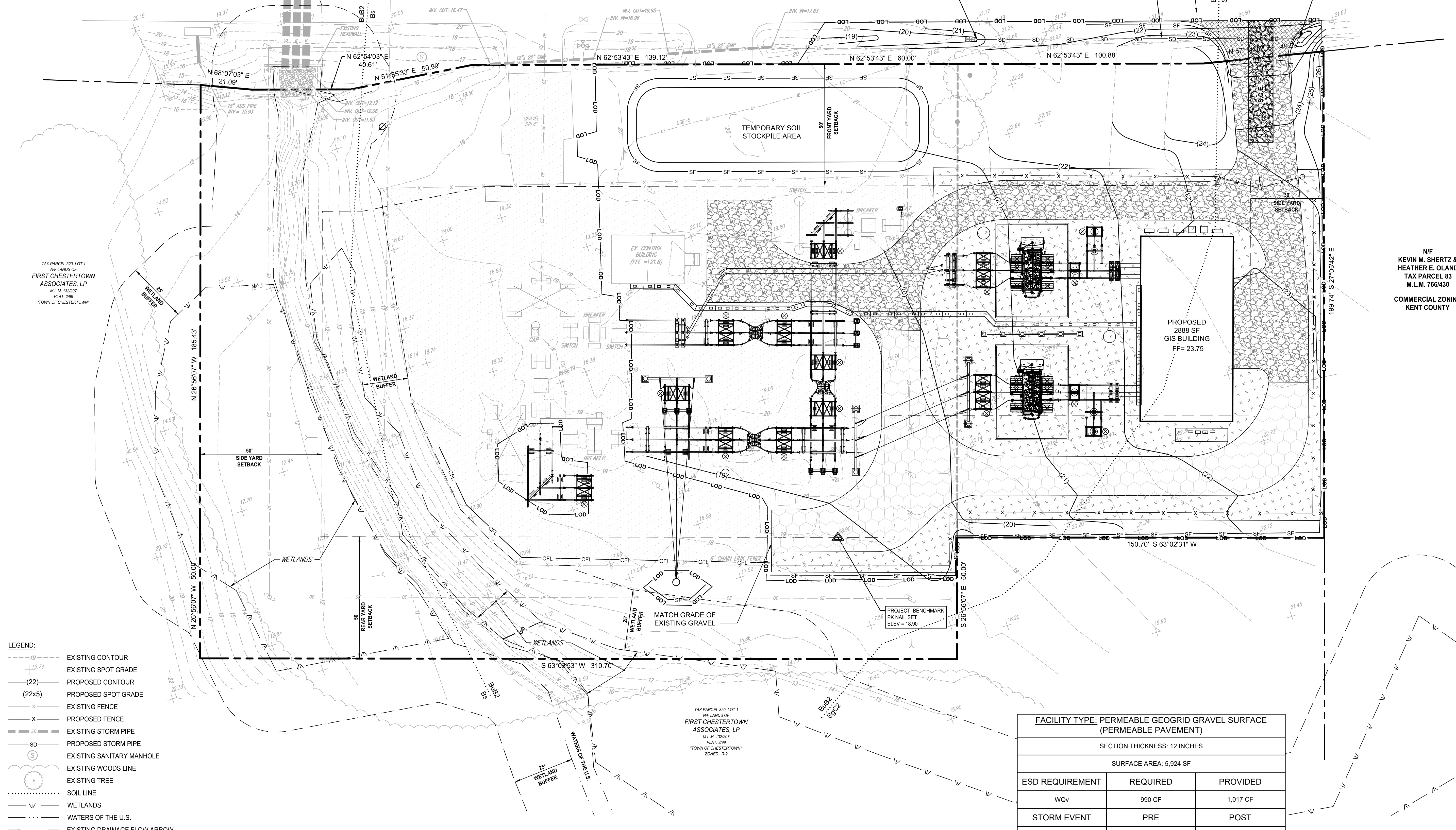
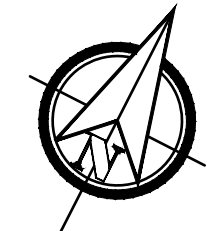
OWNER: DELMARVA POWER & LIGHT CO.  
P.O. BOX 9239  
NEWARK, DE 19714

**FINAL MAJOR SITE & CONSTRUCTION PLANS**  
**SITE PLAN**  
**CHESTERTOWN SUBSTATION**  
**DELMARVA POWER & LIGHT CO.**  
FOURTH ELECTION DISTRICT ~ KENT COUNTY ~ MARYLAND

DATE: 9 JULY 2020  
SCALE: 1" = 20'  
PROJECT NO. 12385.CA  
SHEET: 4 OF 7

MD. RTE. 291  
(MORGNEC ROAD)  
(VARIABLE WIDTH RIGHT-OF-WAY)

STATE HIGHWAY  
ENTRANCE PERMIT  
REQUIRED  
125 LF OF 13"x17" CMP @ 0.0075  
(TO BE INSTALLED BY MD  
STATE HIGHWAY - NOT IN  
CONTRACT)



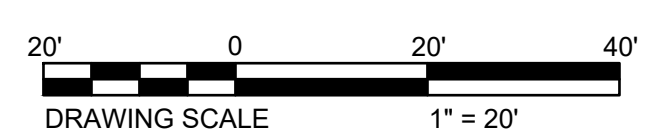
TAX PARCEL 300, LOT 1  
N/F LANDS OF  
FIRST CHESTERTOWN  
ASSOCIATES, LP  
M.L.M. 132007  
PLAT 299  
"TOWN OF CHESTERTOWN"

N/F  
KEVIN M. SHERTZ &  
HEATHER E. OLAND  
TAX PARCEL 83  
M.L.M. 766/430  
COMMERCIAL ZONING  
KENT COUNTY

- LEGEND:**
- 19- EXISTING CONTOUR
  - +19.74 EXISTING SPOT GRADE
  - (22) PROPOSED CONTOUR
  - (22x5) PROPOSED SPOT GRADE
  - x EXISTING FENCE
  - x PROPOSED FENCE
  - SD EXISTING STORM PIPE
  - SD PROPOSED STORM PIPE
  - ⊙ EXISTING SANITARY MANHOLE
  - ⊙ EXISTING WOODS LINE
  - ⊙ EXISTING TREE
  - SOIL LINE
  - WETLANDS
  - WATERS OF THE U.S.
  - EXISTING DRAINAGE FLOW ARROW
  - PROPOSED DRAINAGE FLOW ARROW
  - EXISTING UTILITY POLE WITH GUY WIRE
  - OVERHEAD ELECTRIC
  - UNDERGROUND ELECTRIC
  - UNDERGROUND TELEPHONE
  - EXISTING GRAVEL TO REMAIN
  - PROPOSED GEO-GRID
  - PROPOSED UN-COMPACTED GRAVEL
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  - PROPOSED ASPHALT

- SOILS:**
- Bs: BIBB SILT LOAM, HYDROLOGIC SOIL GROUP B/D
  - BuB2: BUTLERTOWN-MATTAPEX SILT LOAMS, 2-5% SLOPES, MODERATELY ERODED, HYDROLOGIC SOIL GROUP C
  - SgC2: SASSAFRAS GRAVELLY LOAM, 5-10% SLOPES, MODERATELY ERODED, HYDROLOGIC SOIL GROUP B

FACILITY TYPE: PERMEABLE GEOGRID GRAVEL SURFACE (PERMEABLE PAVEMENT)		
SECTION THICKNESS: 12 INCHES		
SURFACE AREA: 5,924 SF		
ESD REQUIREMENT	REQUIRED	PROVIDED
WQv	990 CF	1,017 CF
STORM EVENT	PRE	POST
2-YEAR	5.08	5.08
10-YEAR	10.16	10.16
100-YEAR	16.22	16.22



**DUFFIELD ASSOCIATES**  
Soil, Water & the Environment

5400 LIMESTONE ROAD  
WILMINGTON, DE 19808-1232  
TEL: 302.239.6634  
FAX: 302.239.8485

OFFICES IN DELAWARE, MARYLAND,  
PENNSYLVANIA AND NEW JERSEY  
WEB: HTTP://DUFFIELD.COM  
E-MAIL: DUFFIELD@DUFFIELD.COM

CHECKED BY: \_\_\_\_\_  
DESIGNED BY: JGF  
DRAWN BY: CAZ  
FILE NAME: 12385CA-Court  
JOHN G. FELLOWS, R.L.A.  
STATE MARYLAND

NO.	REVISION
1	PER KENT COUNTY COMMENTS
2	PER KENT COUNTY COMMENTS

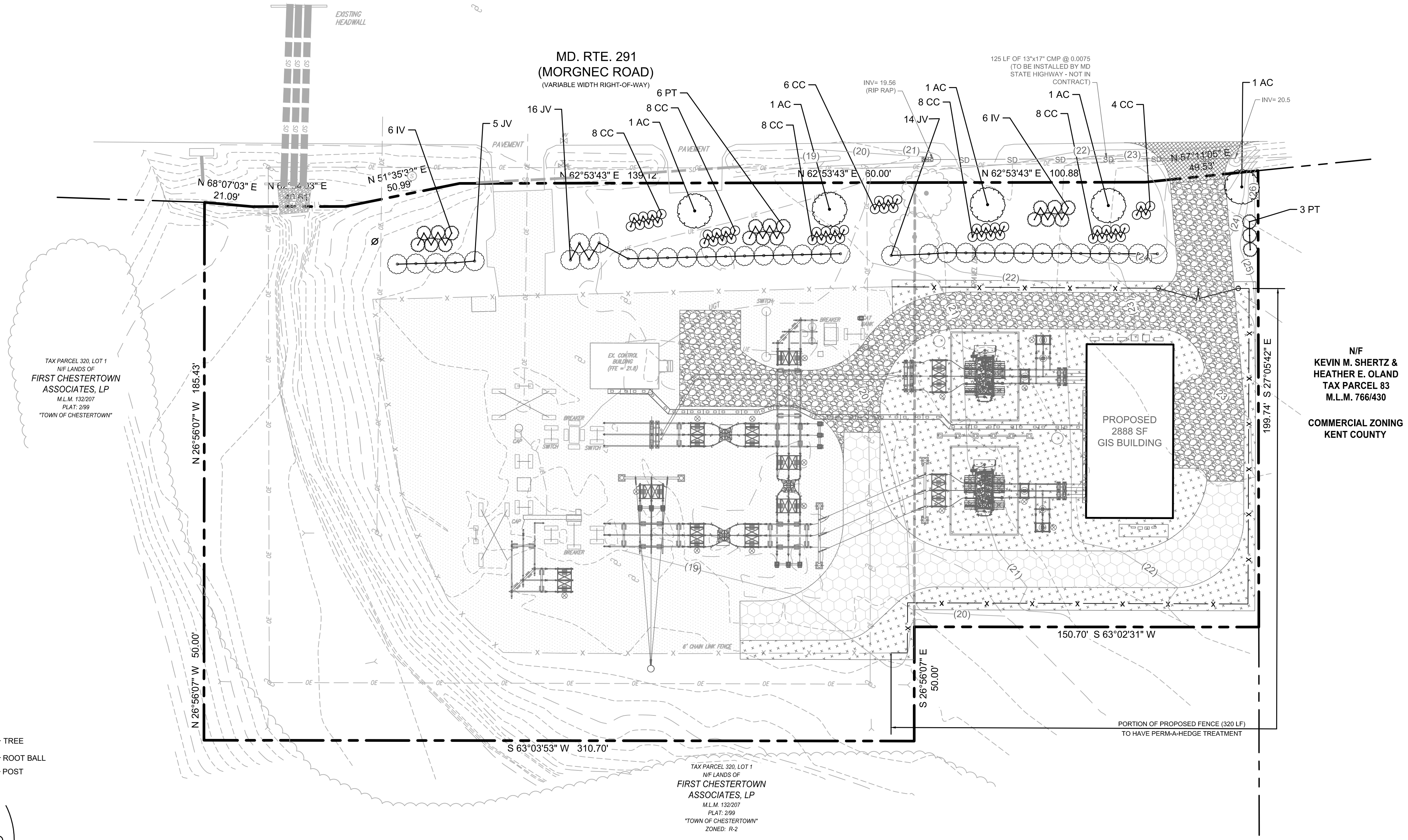
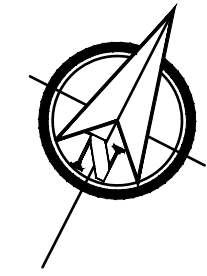
OWNER: DELMARVA POWER & LIGHT CO.  
P.O. BOX 9239  
NEWARK, DE 19714

**FINAL MAJOR SITE & CONSTRUCTION PLANS  
LINES & GRADES/STORMWATER MANAGEMENT PLAN  
CHESTERTOWN SUBSTATION  
DELMARVA POWER & LIGHT CO.  
FOURTH ELECTION DISTRICT ~ KENT COUNTY ~ MARYLAND**

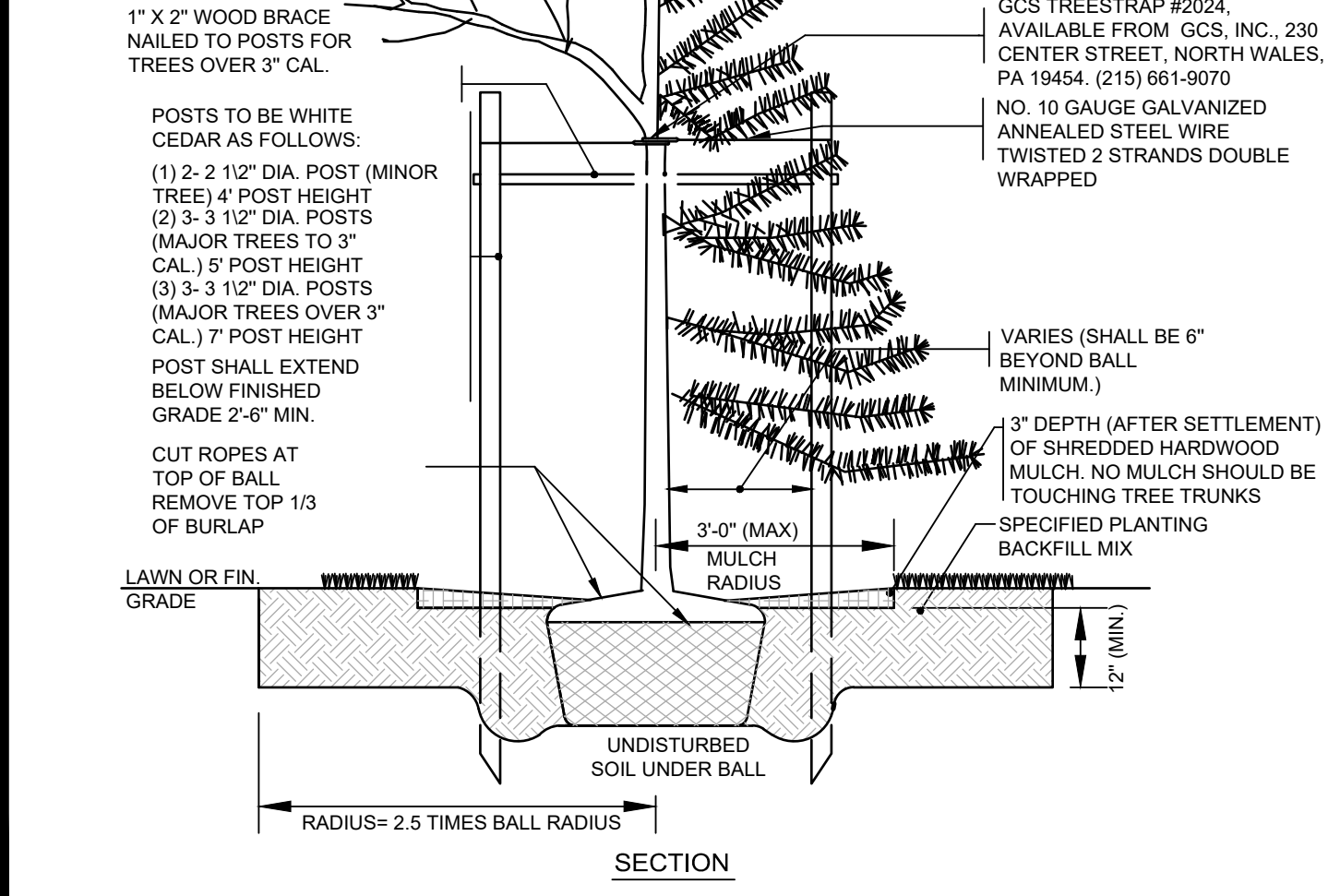
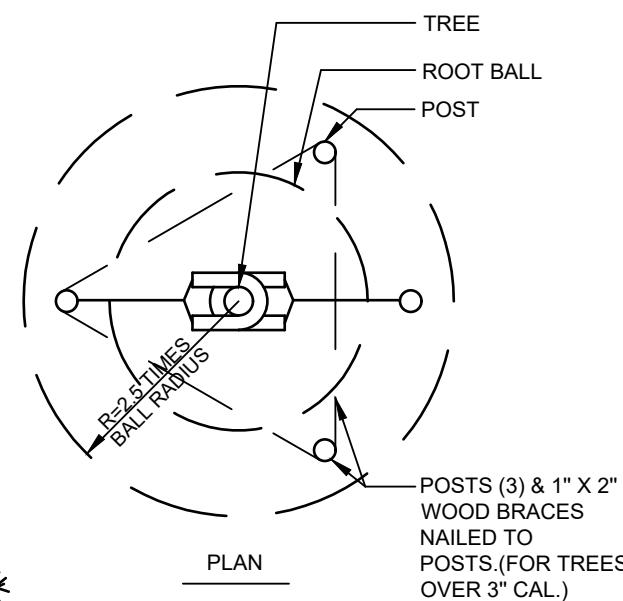
DATE: 9 JULY 2020  
SCALE: 1" = 20'  
PROJECT NO. 12385.CA  
SHEET: 5 OF 7

**PLANT LIST**

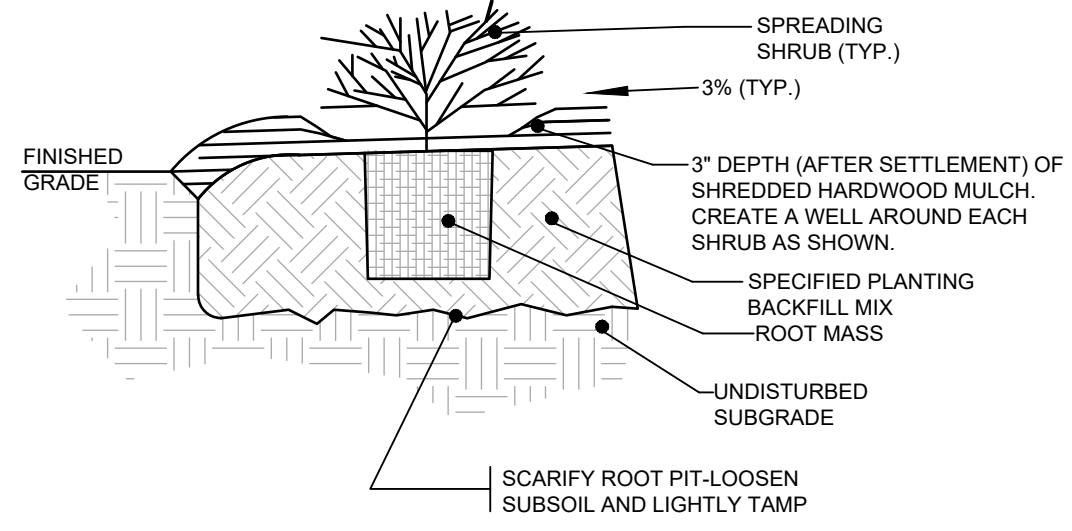
Key	Quan	Botanical Name	Common Name	Size	Root
AC	5	ACER CAMPESTRE	HEDGE MAPLE	2 1/2" CAL.	B&B
CC	50	CUSPIDATA CAPITALATA	YEW	18-24" Ht.	CONT.
IV	12	ILEX VERTICALLATA	WINTERBERRY	18-24" Ht.	CONT.
PT	12	PINUS THUNBERGII	JAPANESE BLACK PINE	5-6' Ht.	B&B
JV	35	JUNIPERUS VIRGINIANA	EASTERN RED CEDAR	5-6' Ht.	B&B



**PLANTING NOTES:**  
 1. CROWN OF ROOT BALL SHALL BEAR SAME RELATION (OR SLIGHTLY ABOVE) TO FINISHED GRADE AS IT BORE TO PREVIOUS GRADE.  
 2. DO NOT DAMAGE MAIN ROOTS OR DESTROY ROOT BALL WHEN INSTALLING TREE SUPPORT POSTS.  
 3. REMOVE HOSE AND POST AT END OF GUARANTEE PERIOD (OR NO LONGER THAN 12 MONTHS).  
 4. CONTRACTOR TO PROVIDE PROTECTION AGAINST DEER RUB/RUT WHICH IS NOT DIRECTLY ATTACHED TO TRUNK. (AS APPROVED).



**TREE PLANTING DETAIL**  
 NOT TO SCALE



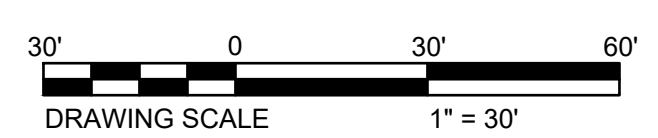
**SHRUB PLANTING DETAIL**  
 SCALE: NOT TO SCALE



**DETAIL: PERMA HEDGE**  
 SCALE: NOT TO SCALE

**LEGEND:**

	EXISTING CONTOUR
	EXISTING SPOT GRADE
	EXISTING FENCE
	EXISTING STORM PIPE
	EXISTING SANITARY MANHOLE
	EXISTING WOODS LINE
	EXISTING TREE
	SOIL LINE
	WETLANDS
	WATERS OF THE U.S.
	EXISTING DRAINAGE FLOW ARROW
	EXISTING UTILITY POLE WITH GUY WIRE
	OVERHEAD ELECTRIC
	UNDERGROUND ELECTRIC
	UNDERGROUND TELEPHONE
	EXISTING GRAVEL SURFACE



**DUFFIELD ASSOCIATES**  
 Soil, Water & the Environment  
 5400 LIMESTONE ROAD  
 WILMINGTON, DE 19808-1232  
 TEL: 302.239.6634  
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 OFFICES IN DELAWARE, MARYLAND, PENNSYLVANIA AND NEW JERSEY  
 WEB: HTTP://DUFFIELD.COM  
 E-MAIL: DUFFIELD@DUFFIELD.COM

CHECKED BY: [Signature]  
 DESIGNED BY: [Signature]  
 DRAWN BY: [Signature]  
 FILE NAME: 12385CA-Cont  
 JOHN G. FELLOWS, R.L.A.

NO.	REVISION
1	PER KENT COUNTY COMMENTS
2	PER KENT COUNTY COMMENTS

OWNER: DELMARVA POWER & LIGHT CO.  
 P.O. BOX 9239  
 NEWARK, DE 19714

**FINAL MAJOR SITE & CONSTRUCTION PLANS**  
**LANDSCAPE PLAN**  
**CHESTERTOWN SUBSTATION**  
**DELMARVA POWER & LIGHT CO.**  
 FOURTH ELECTION DISTRICT ~ KENT COUNTY ~ MARYLAND

DATE: 9 JULY 2020  
 SCALE: 1" = 30'  
 PROJECT NO. 12385.CA  
 SHEET: 6 OF 7

GENERAL SEDIMENT AND EROSION CONTROL NOTES:

- NOTIFICATION OF KENT COUNTY SEDIMENT AND EROSION CONTROL INSPECTOR AT 410-778-7437 AT LEAST FIVE (5) DAYS PRIOR TO THE START OF WORK.
- PRIOR TO THE START OF WORK, THE CONTRACTOR IS TO OBTAIN COUNTY APPROVAL OF ANY PROPOSED CHANGES AND SEQUENCE OF CONSTRUCTION, SPECIFICALLY RELATING TO INSTALLATION, INSPECTION, MAINTENANCE AND REMOVAL OF EROSION AND SEDIMENT CONTROL MEASURES.
- SEDIMENT CONTROL MEASURES ARE NOT TO BE REMOVED UNTIL THE AREAS SERVED HAVE ESTABLISHED VEGETATIVE COVER, OR WITH THE PERMISSION OF THE COUNTY SEDIMENT CONTROL INSPECTOR.
- WHEN PUMPING SEDIMENT-LADEN WATER, THE DISCHARGE MUST BE DIRECTED TO APPROVED SEDIMENT TRAPPING MEASURE PRIOR TO RELEASE FROM THE SITE.
- ALL TEMPORARY STOCKPILES ARE TO BE LOCATED WITHIN AREAS PROTECTED BY SEDIMENT CONTROL MEASURES, AND ARE TO BE TEMPORARILY STABILIZED.
- ALL SEDIMENT CONTROL DIKES, SWALES, BASINS AND FLOW LINES TO BASINS WILL BE TEMPORARILY SEEDED IMMEDIATELY UPON INSTALLATION TO REDUCE THE CONTRIBUTION TO SEDIMENT LOADING.
- DISPOSAL OF EXCESS EARTH MATERIALS ON STATE OR FEDERAL PROPERTY REQUIRES MDE APPROVAL. OTHERWISE MATERIALS ARE TO BE DISPOSED OF AT A LOCATION APPROVED BY THE LOCAL AUTHORITY.
- TEMPORARY SOIL EROSION CONTROL AND SEDIMENT CONTROL MEASURES ARE TO BE PROVIDED AS PER THE APPROVED PLAN PRIOR TO GRADING OPERATION. LOCATION ADJUSTMENTS ARE TO BE MADE IN THE FIELD AS NECESSARY. THE MINIMUM AREA PRACTICAL SHALL BE DISTURBED FOR THE MINIMUM POSSIBLE TIME.
- IF GRADING IS COMPLETED OUT OF SEEDING SEASON, GRADED AREAS ARE TO BE TEMPORARILY STABILIZED BY MULCH AND MULCH ANCHORING. MULCH MATERIAL SHALL BE UN-WEATHERED, UN-CHOPPED SMALL GRAIN STRAW SPREAD AT THE RATE OF 1 1/2 TO 2 TONS PER ACRE. MULCH ANCHORING TO BE ACCOMPLISHED BY AN APPROVED METHOD, USE OF A MULCH ANCHORING TOOL IS RECOMMENDED WHERE POSSIBLE.
- IMPLEMENTATION OF THE SEDIMENT CONTROL PLAN SHALL BE IN ACCORDANCE WITH THE "2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL", OF THE DEPARTMENT OF THE ENVIRONMENT.
- THE CONTRACTOR IS RESPONSIBLE FOR IMPLEMENTATION AND MAINTENANCE OF THE APPROVED PLAN, AND ALL OTHER MEASURES NECESSARY TO CONTROL, FILTER, OR PREVENT SEDIMENT FROM LEAVING THE SITE.
- IN CASES WHERE STORMWATER MANAGEMENT STRUCTURES ARE A PART OF SITE DEVELOPMENT, REMOVAL OF SEDIMENT CONTROL MAY NOT BE ACCOMPLISHED BEFORE THE CONTRIBUTING AREA TO THE STORMWATER MANAGEMENT STRUCTURE IS STABILIZED.
- ON SITES WHERE INFILTRATION TECHNIQUES ARE UTILIZED FOR THE CONTROL OF STORMWATER, EXTREME CARE MUST BE TAKEN TO PREVENT ALL RUNOFF FROM ENTERING THE STRUCTURE DURING CONSTRUCTION.
- SEDIMENT CONTROL FOR UTILITY CONSTRUCTION IN AREAS OUTSIDE OF DESIGNED CONTROLS:
  - EXCAVATED TRENCH MATERIAL SHALL BE PLACED ON THE HIGH SIDE OF THE TRENCH.
  - IMMEDIATELY FOLLOWING PIPE INSTALLATION THE TRENCH SHALL BE BACKFILLED, COMPACTED AND STABILIZED AT THE END OF EACH WORKING DAY.
  - TEMPORARY SILT FENCE OR STRAW BALE DIKES SHALL BE PLACED IMMEDIATELY DOWNSTREAM OF ANY DISTURBED AREA INTENDED TO REMAIN DISTURBED LONGER THAN ONE WORKING DAY.
- ALL POINTS OF CONSTRUCTION INGRESS AND EGRESS SHALL BE PROTECTED TO PREVENT TRACKING OF MUD ONTO PUBLIC WAYS.

EROSION AND SEDIMENT CONTROL STANDARDS AND SPECIFICATIONS FOR VEGETATIVE STABILIZATION

- Contractor shall install soil erosion and sediment control devices prior to any grading. Following initial disturbance or re-disturbance, permanent or temporary stabilization shall be completed within three (3) calendar days to the surface of all perimeter controls, dikes, swales, ditches, perimeter slopes greater than three (3) horizontal to one (1) vertical (3:1) and seven (7) days to all other disturbed or graded areas on the project site not under active grading.
- All temporary erosion and sediment control devices are to be provided as indicated on this plan, with location adjustments to be made in the field as necessary, and to be maintained at the end of each working day until project completion. The minimum area practical shall be disturbed for the minimal amount of time possible.
- Clearing and grubbing shall include all trees, brush, debris, root mat and organic materials to be removed.
- Temporary seeding shall be accomplished between February 15th through April 30th, or August 15th through November 30th. During other times, temporary mulching shall be provided.
- Temporary seeding shall conform to the following applications: 436 lbs. per acre of 10-20-20; 4,000 lbs. per acre of ground limestone, to be incorporated into the soil by disking or other suitable means. Annual ryegrass shall be applied at a rate of 50 lbs. per acre using suitable equipment. Mulching shall be accomplished immediately after seeding.

Seed Mixture (For Hardiness Zone 7a) (From Table B.1)					Fertilizer Rate (10-20-20)	Lime Rate
No.	Species	Appl. Rate (lbs./ac.)	Seeding Dates	Seeding Depths		
	ANNUAL RYEGRASS	50#	3/15 - 4/30 8/15 - 1/30	1/2"	436 lb/ac 10 lb/1000 sf	2 tons/ac 50 lb/1000 sf
	BARLEY	66#	2/15 - 4/30 / 8/15 - 1/30	1"		
	OATS	75#	2/15 - 4/30 / 8/15 - 1/30	1"		
	WHEAT	128#	2/15 - 4/30 / 8/15 - 1/30	1"		
	CERIAL RYE	113#	2/15 - 4/30 / 8/15 - 1/30	1"		
	FOXTAIL MILLET	20#	8/15 - 12/15	1/2"		
	PEARL MILLET	20#	8/15 - 12/15	1/2"		

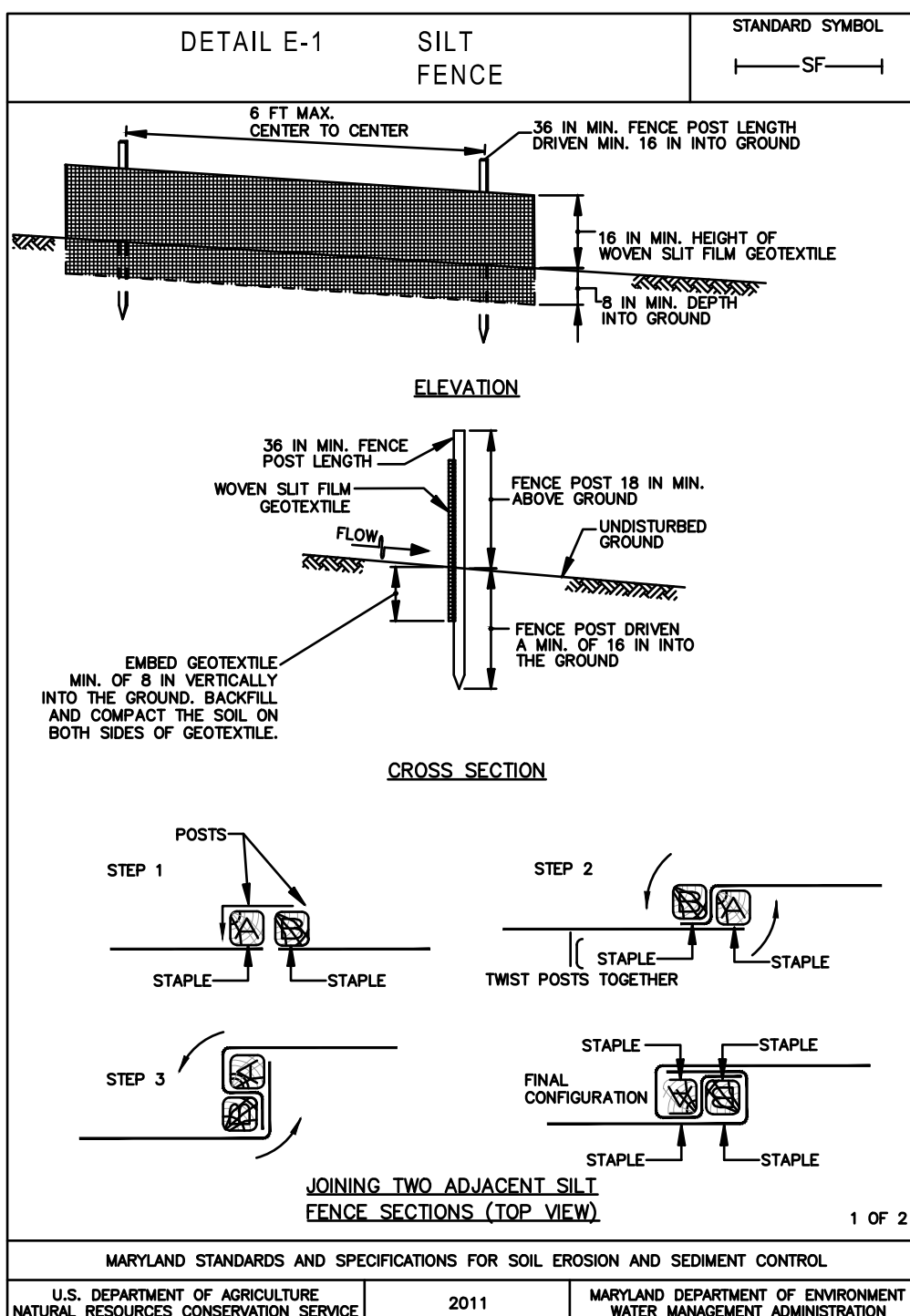
- Mulching shall be unchopped, unrotted, small grain straw applied at a rate of 2-2 1/2 tons per acre. Anchor mulch with a mulch anchoring tool on the contour. Wood cellulose fiber may be used for anchoring straw at a rate of 750 lbs. per acre mixed with water at a maximum of 50 lbs. of wood cellulose fiber per 100 gals. of water, or with a synthetic liquid binder according to manufacturer recommendations. Wood cellulose fiber used as mulch must be applied at a net dry weight of 1,500 lbs. per acre. Mix wood cellulose fiber with water to attain a mixture with a maximum of 50 lbs. of wood cellulose fiber per 100 gals. of water. Permanent seeding shall be accomplished between March 1st through May 15th, or August 15th through October 15th. Permanent seeding at other than specified times will be allowed only upon written approval. Permanent seeding shall conform to the following applications: Permanent seeding for sites having disturbed over five (5) acres shall use fertilizer rates recommended by a soil testing agency and the recommendations provided in the Permanent Seeding Summary Table. Permanent seeding for conditions other than listed above shall be performed at the rates and dates as provided in the Permanent Seeding Summary Table below. Fertilizer and lime amendments shall be incorporated into the top 3"-5" of the soil by disking or other suitable means. Mulching shall be accomplished as discussed in Item #6 of these specifications.

Seed Mixture (For Hardiness Zone 7a) (From Table B.1)					Fertilizer Rate (10-20-20)			Lime Rate
No.	Species	Appl. Rate (lbs./ac.)	Seeding Dates	Seeding Depths	N	P2O5	K2O	
7	CRESSING RED FESCUE KENTUCKY BLUEGRASS	80# 15#	3/1-8/15 8/15-10/15	1/2"-1/4"	45 lb/ac 1 lb/1000 sf	90 lb/ac 2 lb/1000 sf	90 lb/ac 2 lb/1000 sf	2 tons/ac 50 lb/1000 sf
8	TALL FESCUE	100#	3/1-8/15 8/15-10/15	1/2"-1/4"				
9	TALL FESCUE KENTUCKY BLUEGRASS PERENNIAL RYEGRASS	80# 40# 20#	3/1-8/15 8/15-10/15	1/2"-1/4"				

- Any spoil or borrow will be placed at a site approved by the Soil Conservation District.
- All areas remaining or intended to remain disturbed for longer than seven (7) days, shall be stabilized in accordance with the USDA, Natural Resources Conservation Service Standards and Specifications for Soil Erosion and Sediment Control in developing areas for critical area stabilization.
- It will be the responsibility of the Contractor or Subcontractor to notify the Engineer of any deviation from this plan. Any change made in this plan without written authorization from the Engineer will place responsibility of said change on the Contractor or Subcontractor.

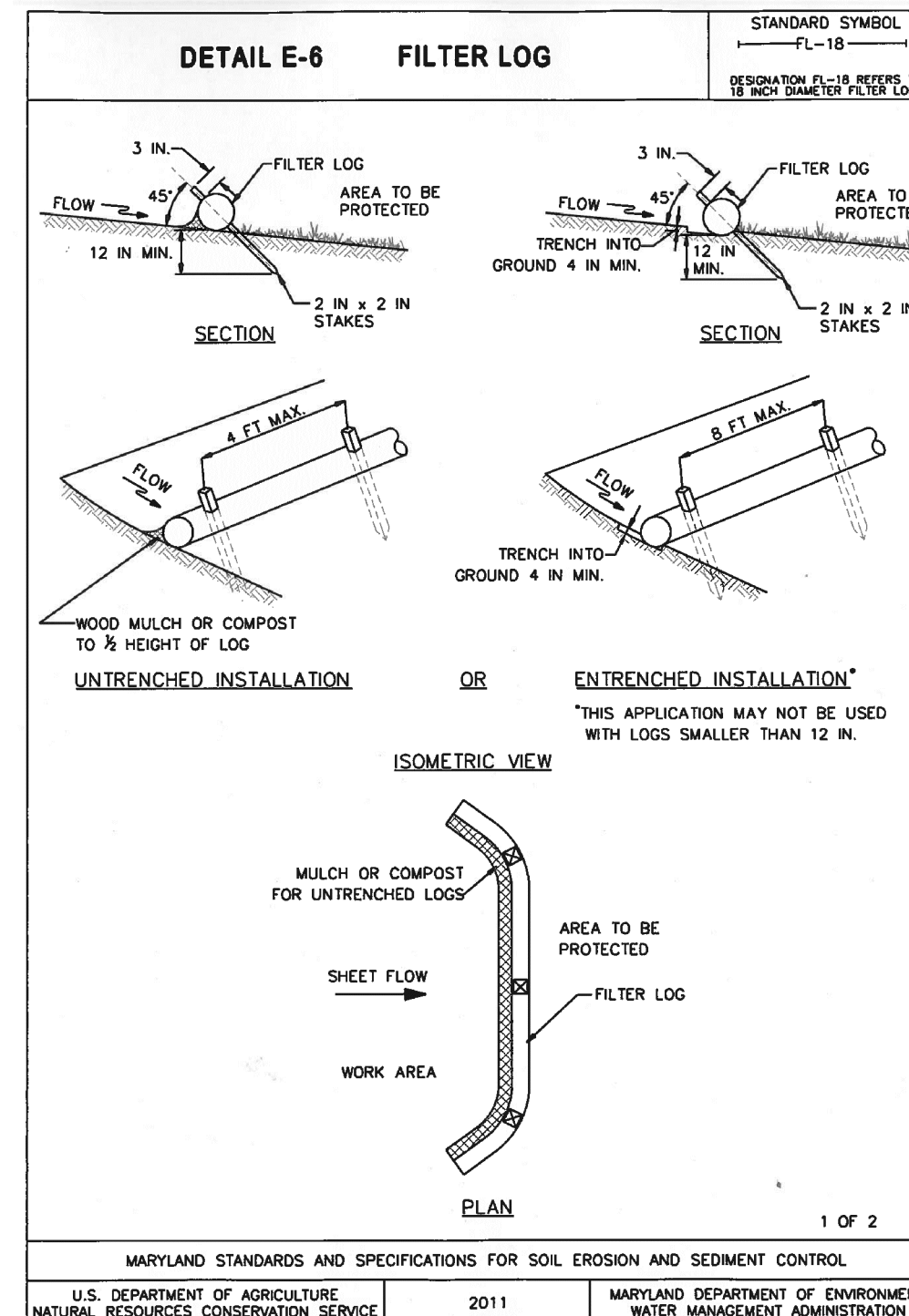
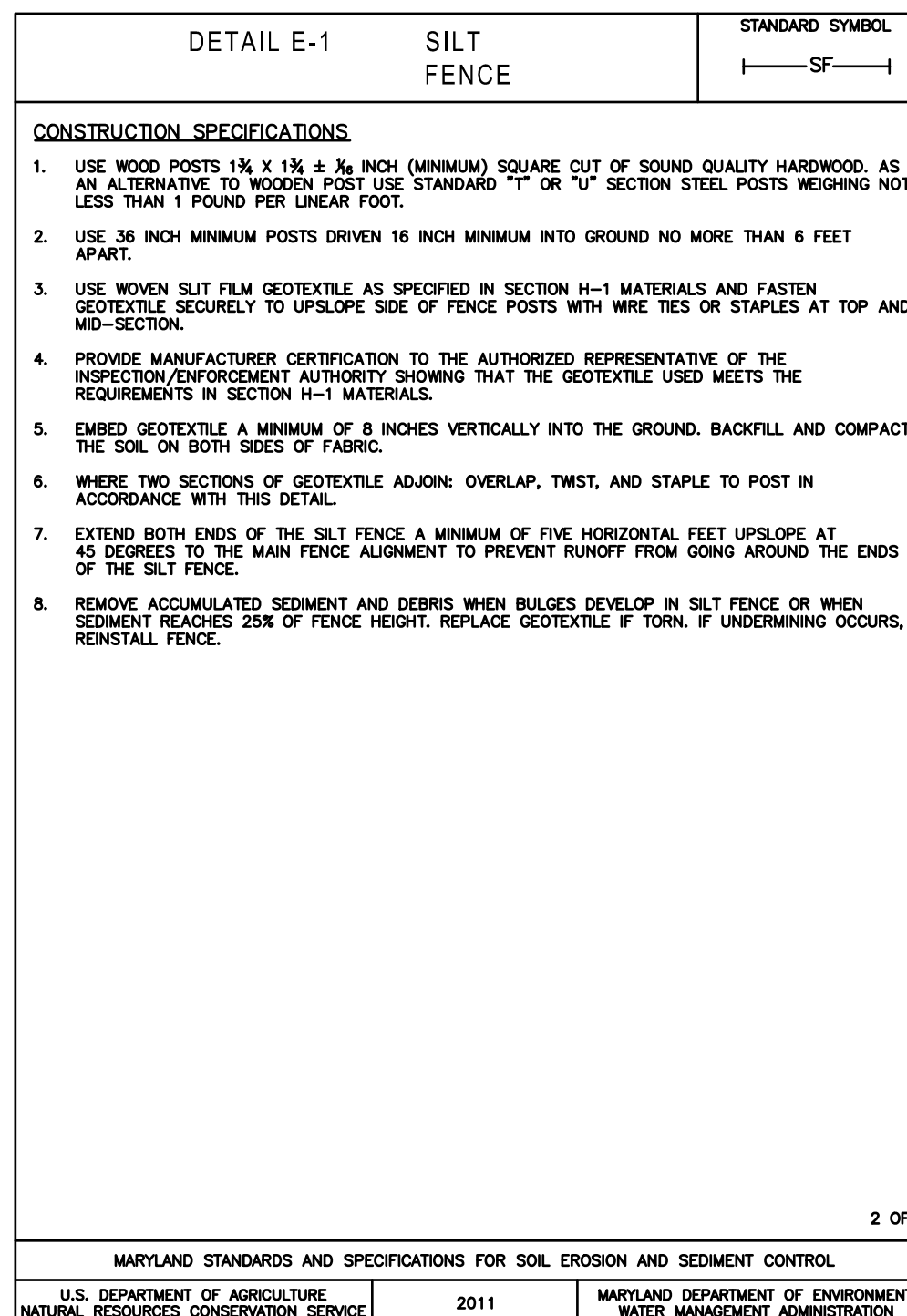
DETAIL: VEGETATIVE STABILIZATION

SCALE: NO SCALE



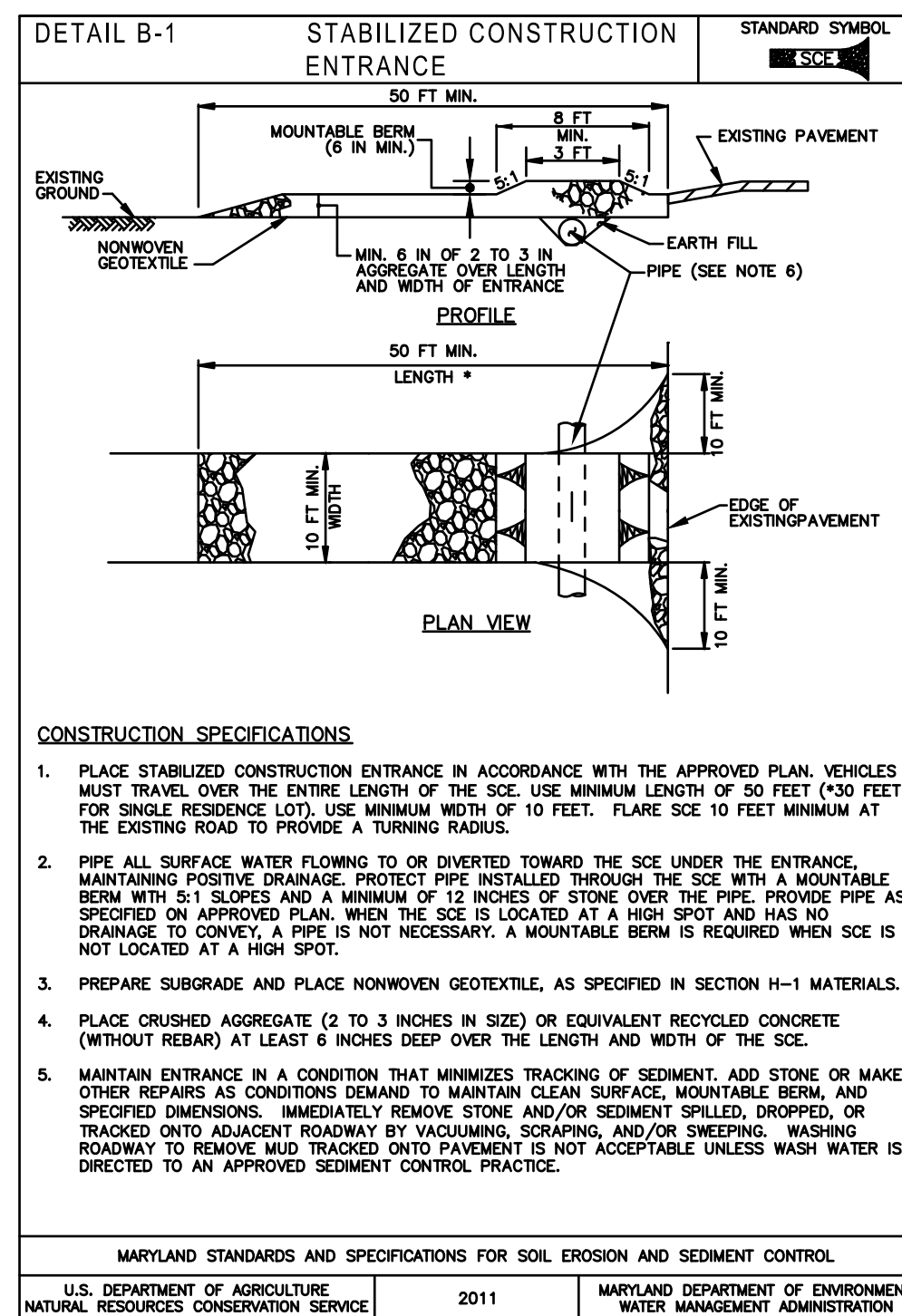
DETAIL: SILT FENCE

SCALE: NO SCALE



DETAIL: COMPOST FILTER LOG

SCALE: NO SCALE



DETAIL: STABILIZED CONSTRUCTION ENTRANCE

SCALE: NO SCALE

**DUFFIELD ASSOCIATES**  
Soil, Water & the Environment

5600 LIMESTONE ROAD  
WILMINGTON, DE 19808-1232  
TEL: 302.239.6634  
FAX: 302.239.8485

OFFICES IN DELAWARE, MARYLAND, PENNSYLVANIA AND NEW JERSEY  
WEB: HTTP://DUFFIELD.COM  
E-MAIL: DUFFIELD@DUFFIELD.COM

JOHN G. FELLOWS, R.L.A.

CHECKED BY: [ ]  
DESIGNED BY: [ ]  
DATE: [ ]  
JOB NO.: [ ]  
DATE: [ ]  
FILE NAME: 12385A-Cont  
DRAWN BY: GAZ

REVISION

No.	DESCRIPTION
1	PER KENT COUNTY COMMENTS
2	PER KENT COUNTY COMMENTS

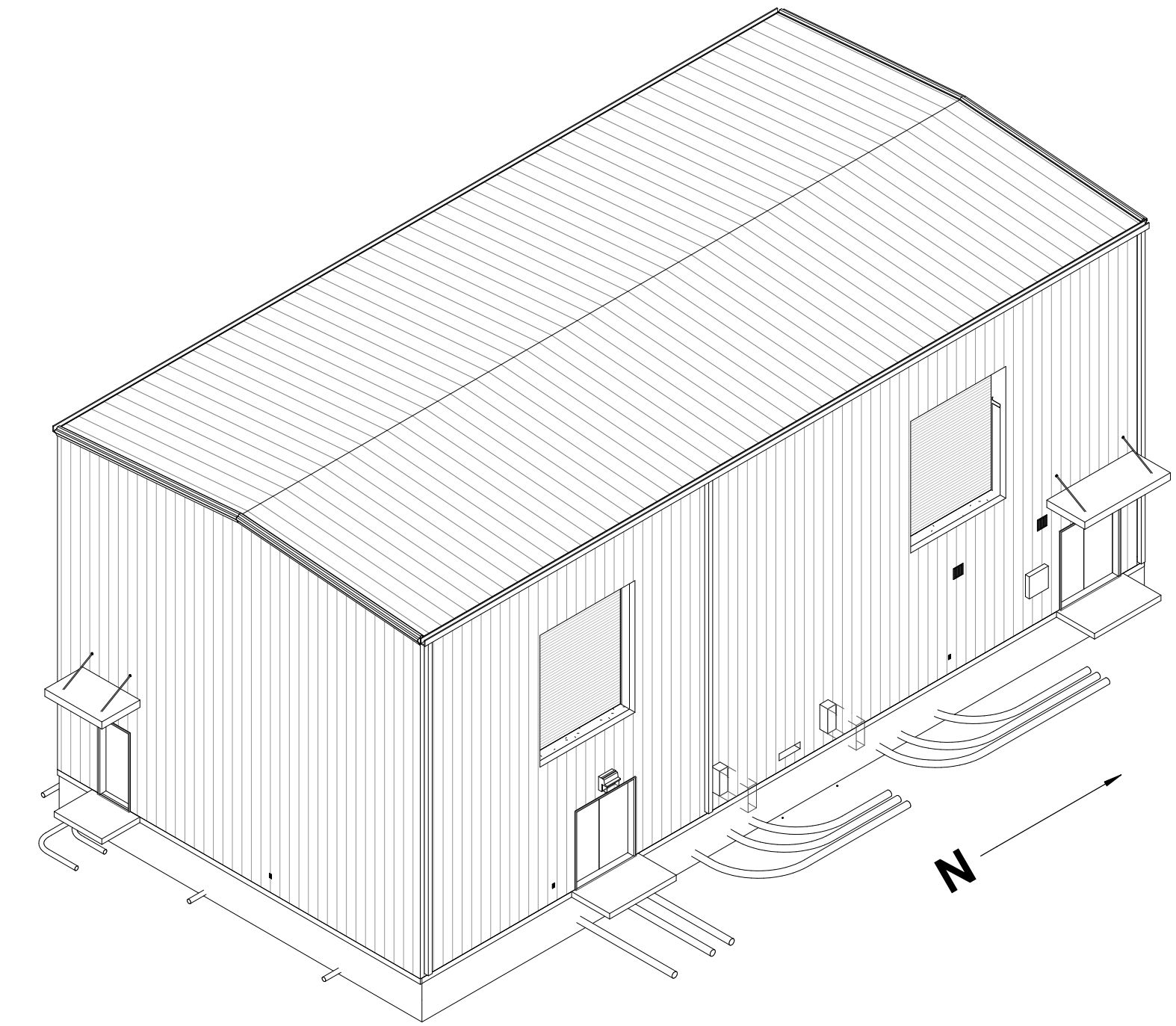
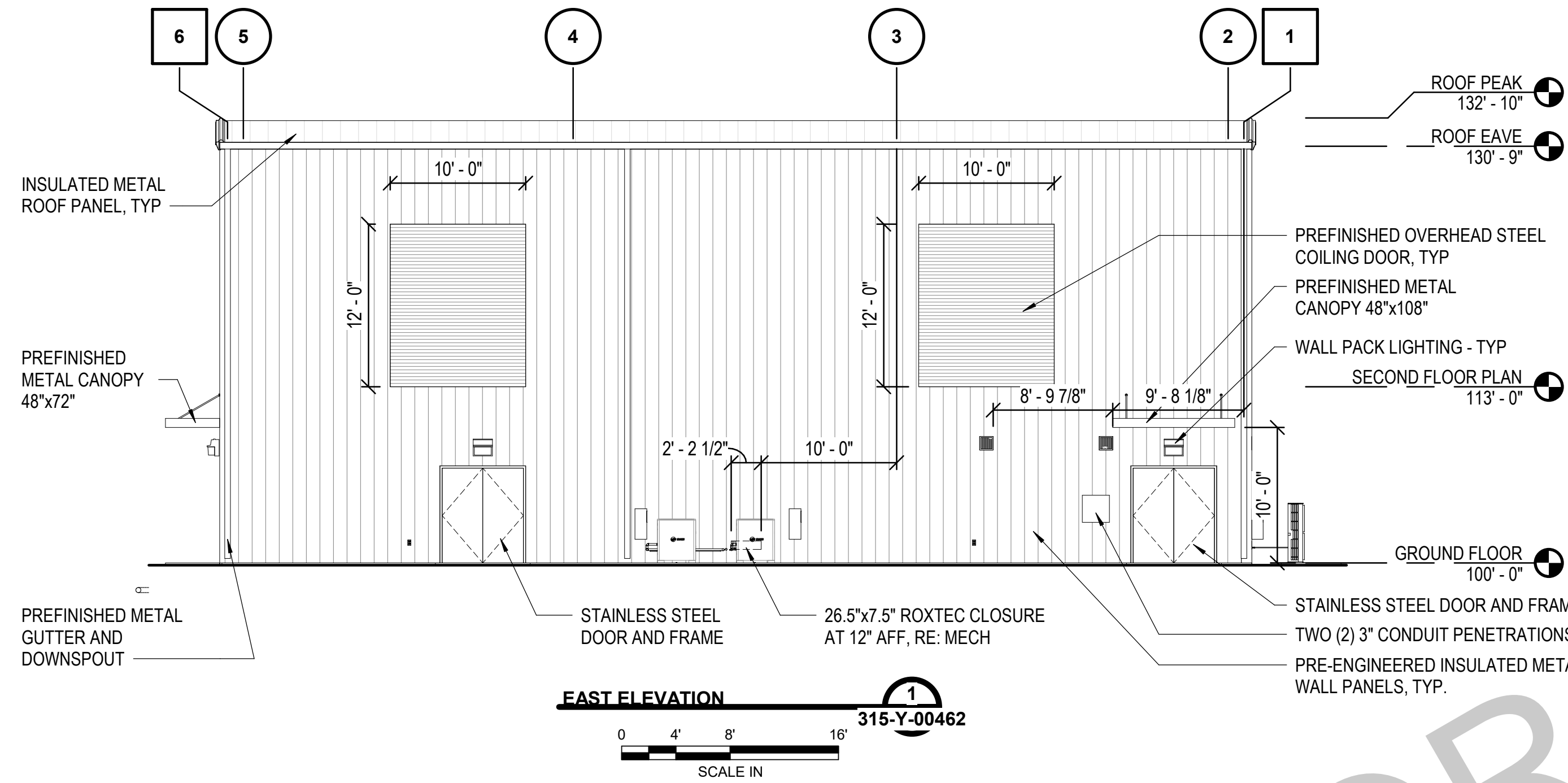
OWNER: DELMARVA POWER & LIGHT CO.  
P.O. BOX 9239  
NEWARK, DE 19714

FINAL MAJOR SITE & CONSTRUCTION PLANS  
E & S NOTES AND DETAILS

CHESTERTOWN SUBSTATION  
DELMARVA POWER & LIGHT CO.

FOURTH ELECTION DISTRICT ~ KENT COUNTY ~ MARYLAND

DATE: 9 JULY 2020  
SCALE: AS NOTED  
PROJECT NO. 12385.CA  
SHEET: 7 OF 7



**NORTHEAST AXONOMETRIC**

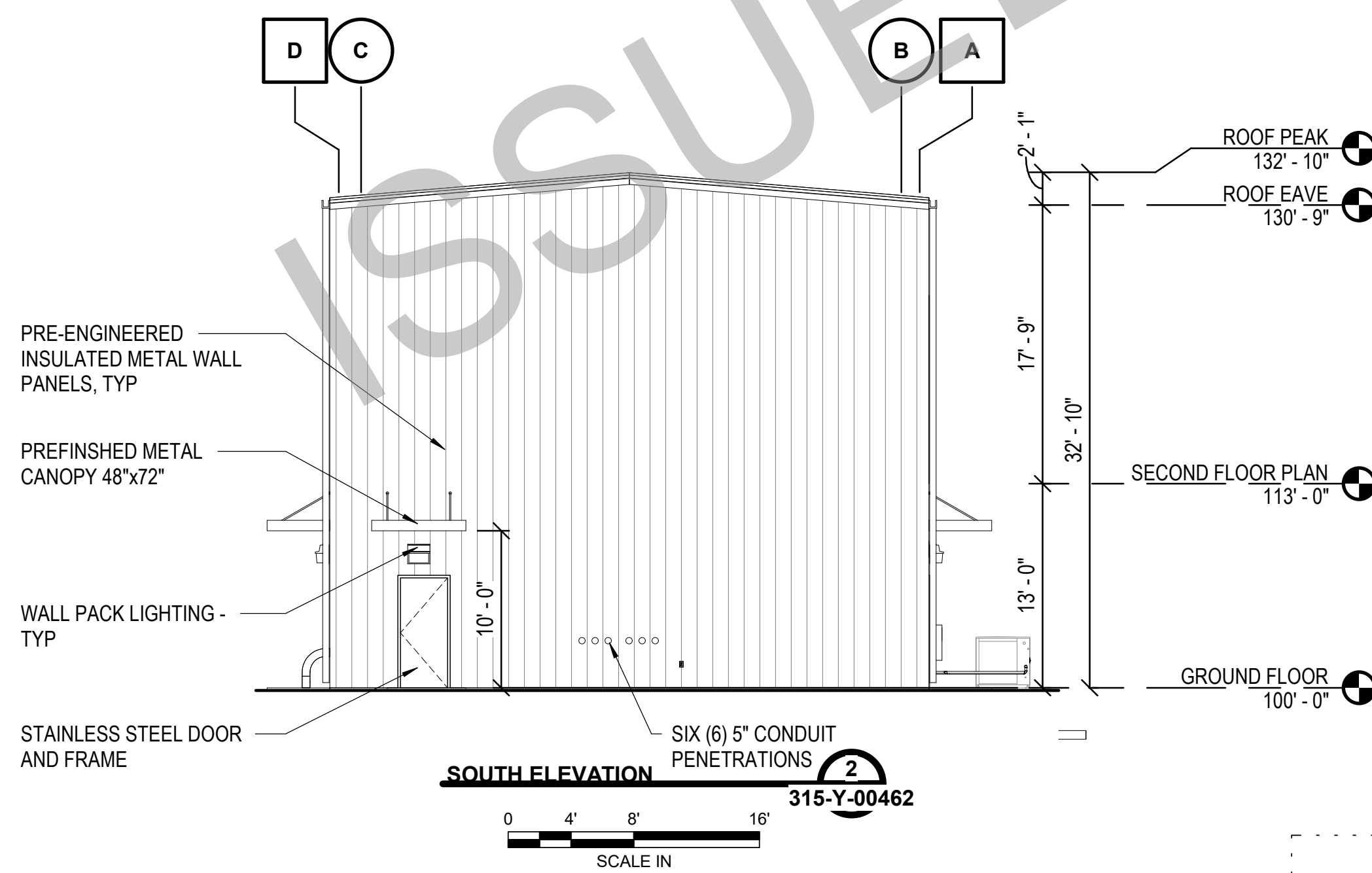
N.T.S.

**ELEVATION GENERAL NOTES:**

1. PRE-ENGINEERED CANOPIES TO BE MAPES SUPER LUMIDECK FLUROPOLYMER PREFINISHED ALUMINUM WITH FLAT SOFFIT OR APPROVED EQUAL. STANDARD FASCIA AND HANGER ROD CONFIGURATION. COLOR TO BE CLEAR ANODIZED. CANOPIES TO DRAIN TO GRADE. MANUFACTURER TO DESIGN CANOPY CONNECTION AND COORDINATE WITH METAL BUILDING SUPPLIER.
2. BASIS OF DESIGN BUILDING COLORS:
  - A. METAL WALL AND ROOF PANELS AND DOWNSPOUTS: TO BE SELECTED BY OWNER
  - B. METAL TRIM AND GUTTERS: TO BE SELECTED BY OWNER
  - C. LOUVERS: COLOR MATCH TO WALL PANEL COLOR
  - D. OVERHEAD AND PERSONNEL DOORS: COLOR TO MATCH METAL TRIM COLOR
3. SEE DWG 315-Y-00463 FOR LOUVER SCHEDULE.

**MATERIAL LEGEND:**

- EXTERIOR METAL PANEL WALL
- CONCRETE



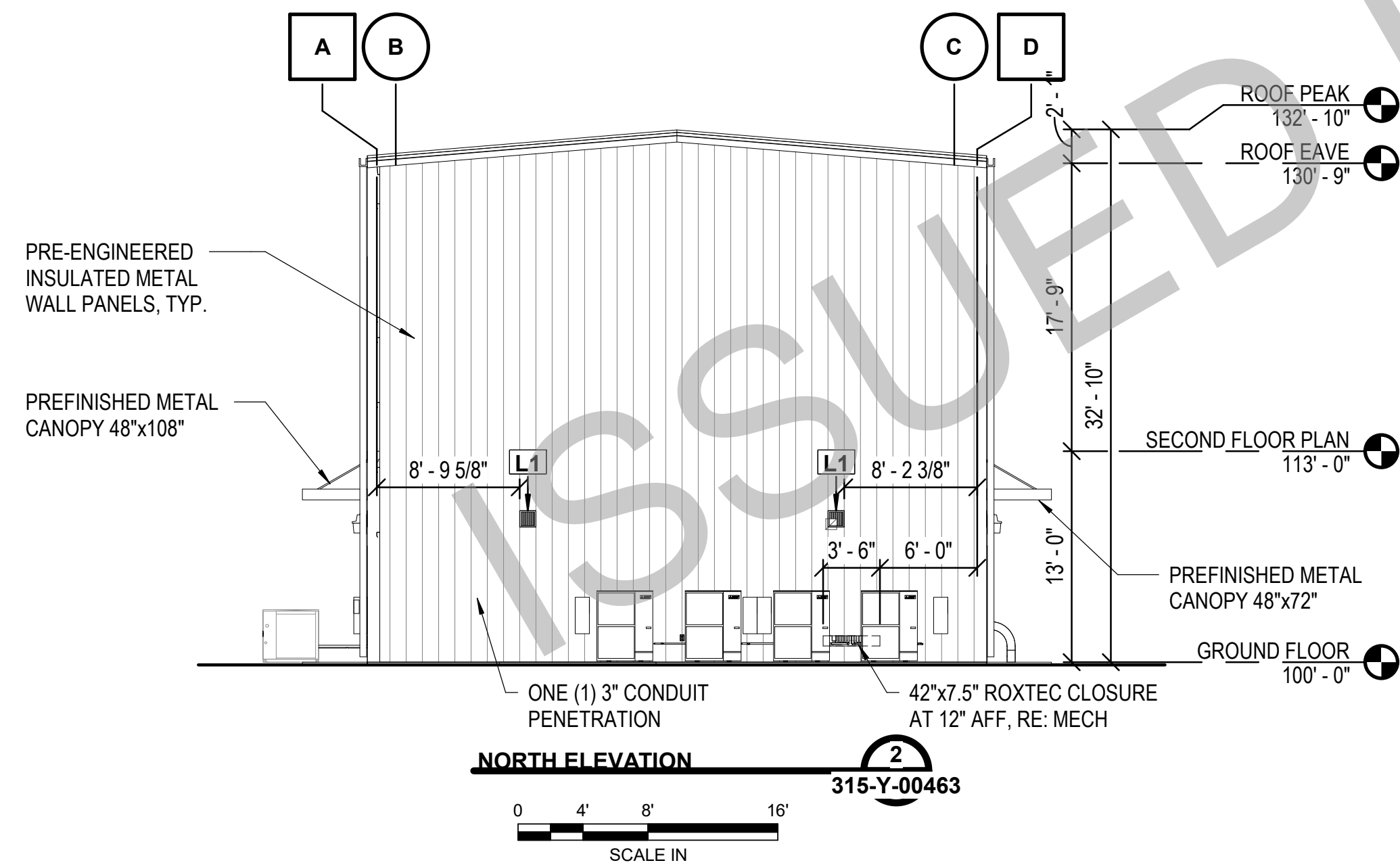
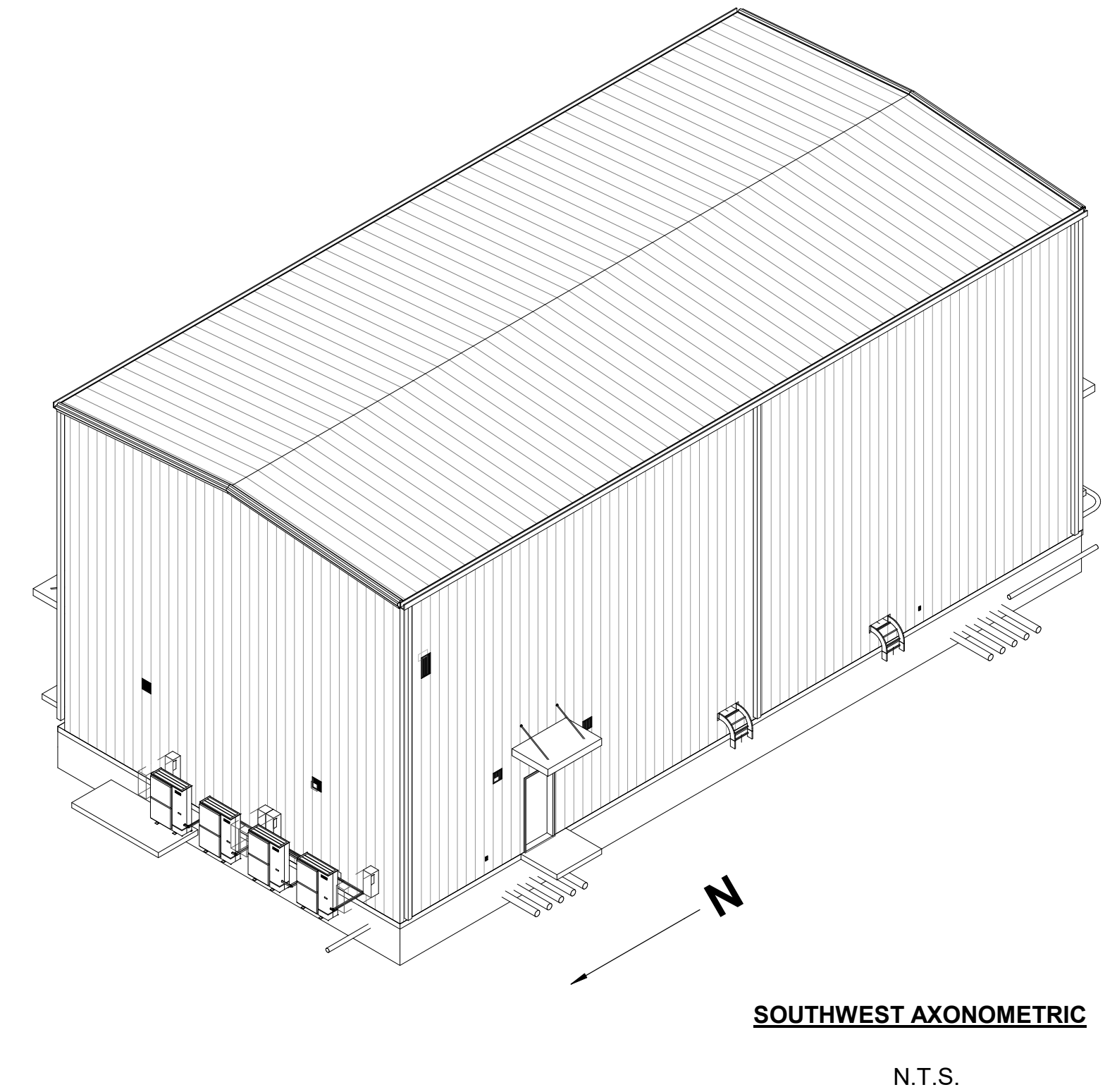
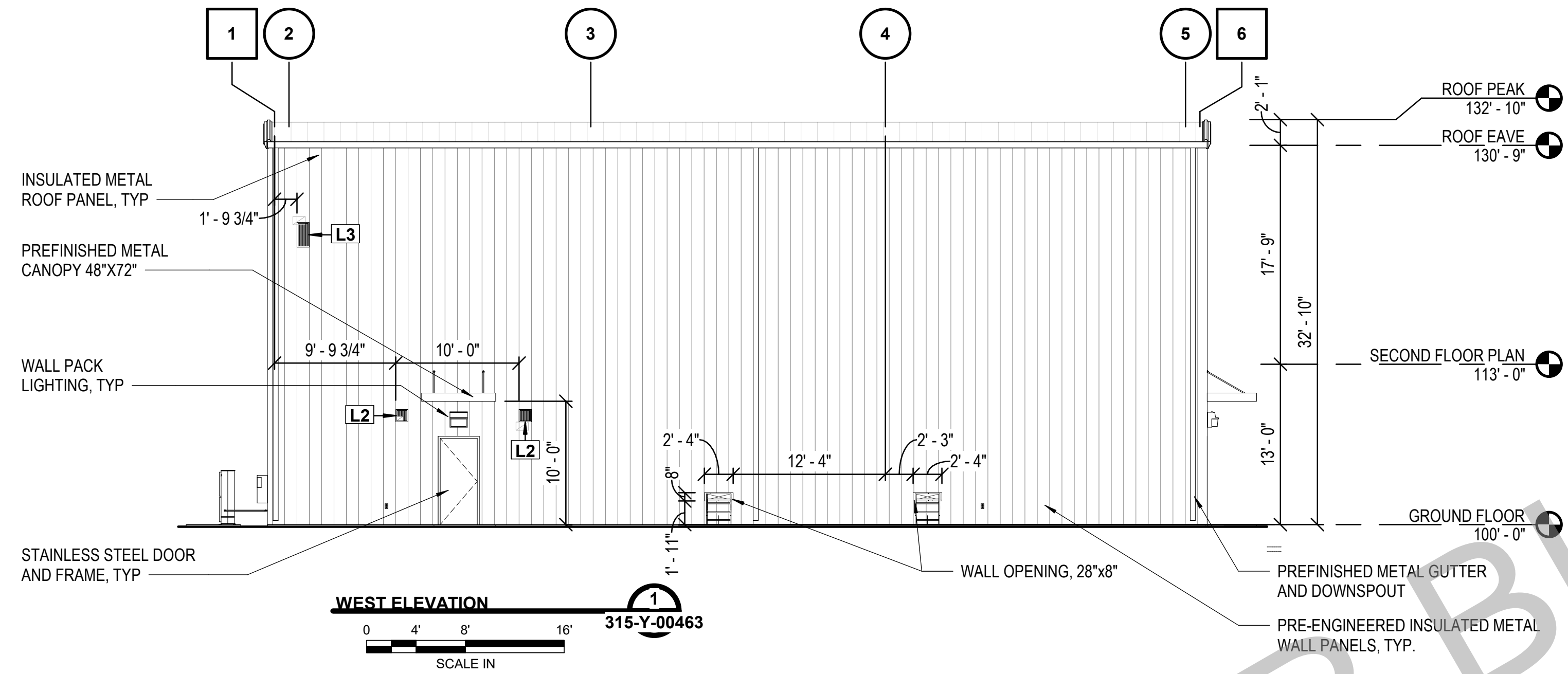
**SOUTH ELEVATION**

		Newark, DE An Exelon Company	
<b>CHESTERTOWN SUBSTATION</b>			
GIS BUILDING			
ARCHITECTURAL BUILDING ELEVATIONS NORTH & EAST			
SCALE	As indicated	315-Y-00462	REV. 000

REV	DATE	DFT	APV	DESCRIPTION
2	11/20/20			ISSUED FOR METAL BUILDING BID
1	6/27/20			ISSUED FOR 50% REVIEW

**BURNS MEDONNELL**  
PROJECT #: 119384

OOO	BMcD	DISTRIBUTION REBUILD (EPS#DM18DS087, DM18SS173)
REVISIONS		



**ELEVATION GENERAL NOTES:**

- PRE-ENGINEERED CANOPIES TO BE MAPES SUPER LUMIDECK FLUROPOLYMER PREFINISHED ALUMINUM WITH FLAT SOFFIT OR APPROVED EQUAL. STANDARD FASCIA AND HANGER ROD CONFIGURATION. COLOR TO BE CLEAR ANODIZED. CANOPIES TO DRAIN TO GRADE. MANUFACTURER TO DESIGN CANOPY CONNECTION AND COORDINATE WITH METAL BUILDING SUPPLIER.
- BASIS OF DESIGN BUILDING COLORS:
  - METAL WALL AND ROOF PANELS AND DOWNSPOUTS: TO BE SELECTED BY OWNER
  - METAL TRIM AND GUTTERS: TO BE SELECTED BY OWNER
  - LOUVERS: COLOR MATCH TO WALL PANEL COLOR
  - OVERHEAD AND PERSONNEL DOORS: COLOR TO MATCH METAL TRIM COLOR
- SEE DWG 315-Y-00463 FOR LOUVER SCHEDULE.

**MATERIAL LEGEND:**

- EXTERIOR METAL PANEL WALL
- CONCRETE

**LOUVER SCHEDULE - GIS HALL**

MARK	WIDTH	HEIGHT	SILL HEIGHT	HEAD HEIGHT	WALL FIRE RATING	BASIS OF DESIGN WIND-DRIVEN RAIN LOUVER	BASIS OF DESIGN ACOUSTICAL LOUVER	REMARKS
L1	1' - 0"	1' - 0"	8' - 4"	9' - 4"	-	RUSKIN EME3625		
L2	1' - 0"	1' - 0"	8' - 4"	9' - 4"	2 HR	RUSKIN EME3625		
L3	1' - 0"	2' - 0"	22' - 6"	24' - 6"	2 HR	RUSKIN EME3625		

**LOUVER SCHEDULE - CONTROL ROOM**

MARK	WIDTH	HEIGHT	SILL HEIGHT	HEAD HEIGHT	WALL FIRE RATING	BASIS OF DESIGN WIND-DRIVEN RAIN LOUVER	BASIS OF DESIGN ACOUSTICAL LOUVER	REMARKS
L1	1' - 0"	1' - 0"	8' - 4"	9' - 4"	-	RUSKIN EME3625		
L2	1' - 0"	1' - 0"	8' - 4"	9' - 4"	2 HR	RUSKIN EME3625		
L3	1' - 0"	2' - 0"	22' - 6"	24' - 6"	2 HR	RUSKIN EME3625		

REV	DATE	DESCRIPTION
2	11/20/20	ISSUED FOR METAL BUILDING BID
1	6/27/20	ISSUED FOR 50% REVIEW

**BURNS MEDONNELL**  
 PROJECT #: 119384

REV	DATE	DFT	APV	DESCRIPTION
000		BMcD		DISTRIBUTION REBUILD (EPS#DM18DS087, DM18SS173)

**delmarva power**  
 Newark, DE An Exelon Company

**CHESTERTOWN SUBSTATION**  
 GIS BUILDING  
 ARCHITECTURAL BUILDING ELEVATIONS SOUTH & WEST

SCALE: As indicated  
 315-Y-00463 SH. 001  
 REV. 000



## Kent County Department of Planning, Housing, and Zoning

To: Kent County Planning Commission  
From: Carla Gerber, GIS Specialist  
Meeting: January 7, 2021  
Subject: Cliff Road Properties, LLC – Great Oak Manor  
Concept Site Plan Review

### EXECUTIVE SUMMARY

#### Request by Applicant

The applicants are proposing improvements to expand and enhance their existing county inn use. The improvements include the construction of two free standing cottages with two guest rooms per cottage, expanded parking area to serve the cottage rooms, pedestrian pathways to link the cottages to the manor house, a tent area for events, and an addition to the existing garage to provide storage areas. The project may be split into two phases: the cottages and parking area expansion in phase 1 and the tent area and garage addition in phase 2.

#### Public Process

Per Maryland State Law and Article VI, Section 5 of the Kent County *Land Use Ordinance* the Planning Commission shall review and approve Major Site Plans.

#### Summary of Staff Report

The 8.515- acre property is zoned Critical Area Residential and fronts onto the Chesapeake Bay. The surrounding area is a mix residential, agricultural and marine uses. The proposed improvements are an expansion of an existing permitted use. There will be a maximum of 15 guest rooms: two guest rooms in each cottage and eleven guest rooms in the manor house. The proposed tent area will provide a common amenity found at other similar facilities. The proposal complies with the lot coverage limits and a Major Buffer Enhancement Plan has been submitted. Additional parking may be necessary. A citizen participation meeting was held on December 10, 2020.

## PRELIMINARY STAFF REPORT

To: Kent County Planning Commission  
Subject: Cliff Road Properties, LLC (Great Oak Manor)  
Site Plan Review – Concept  
Date: December 30, 2020

### **Description of Proposal**

The applicants are proposing improvements to expand and enhance their existing county inn use. The improvements include the construction of two free standing cottages with two guest rooms per cottage, expanded parking area to serve the cottage rooms, pedestrian pathways to link the cottages to the manor house, a tent area for events, and an addition to the existing garage to provide storage areas. The project may be split into two phases: the cottages and parking area expansion in phase 1 and the tent area and garage addition in phase 2. Two guest rooms in the manor house will be taken out of service in order to stay within the 15-room limit for country inns.

Great Oak Manor's 8.515-acre property is zoned "CAR" Critical Area Residential District and is located along Cliff Road adjacent to the Chesapeake Bay, Great Oak Estates, and Great Oak Landing to the south and residential uses to the north. The property is currently approved with a 3-story dwelling known as the "Manor House" and a detached garage. The surrounding area is characterized by residential development, agriculture, and marine uses.

### **History**

In July 1984, the Kent County Board of Appeals approved Country Inn Special Exception Case No. 394. In September 2017, the Board of Appeals approved an amendment to the special exception to replace the original conditions with conditions that are consistent with the current requirements for country inns in the Land Use Ordinance:

- a. The number of rooming units provided on the site is limited to fifteen excluding resident management quarters.
- b. Boarding and dining facilities may be permitted only when attendant to rooming units and further provided that such facilities are limited to a maximum seating capacity of forty persons. Such dining facilities may be provided to patrons other than boarders provided all applicable local and State approvals are secured.
- c. Exterior changes to Great Oak Manor shall be minimized. Extension or enlargement of principal and accessory structures may not exceed 50% of the gross floor area of each individual building above that which existed as of August 1, 1989.
- d. Adequate landscaping shall be maintained to screen all parking areas from adjoining residential properties.

In 2018, Cliff Road Properties, LLC, submitted a zoning text amendment to amend Article VII, Section 7.16.f of the Kent County Land Use Ordinance (Country Inn Special Exception Use) to remove the provision that set forth the limitation on extension or enlargement of structures which existing as of August 1, 1989 and replace it with a requirement which addresses consistency of feature and character of any extension or enlargement of principal and accessory structures that existed prior to August 1, 1989. The text amendment was adopted in March 2019.

16. Country inn in AZD, RCD, RC, RR, CAR, CR, and M provided:

- a. Such structures have existed prior to August 1, 1989, except on properties with more than 25 acres in the Marine District\*
- b. The number of rooming units provided on the site is limited to fifteen excluding resident management quarters.



- c. Boarding and dining facilities in AZD, RC, RR, and CAR, may be permitted only when attendant to rooming units and further provided that such facilities are limited to a maximum seating capacity of forty persons. Such dining facilities may be provided to patrons other than boarders. No dining facility shall be permitted in RCD.
- d. The site has access to a public road. This access must be capable of supporting the passage of emergency vehicles. The Board may require improvements to existing access roads.
- e. There shall be sufficient acreage for the proposed use and activities.
- f. ~~Exterior changes to the site structure are minimized. Extension or enlargement of principal and accessory structures may not exceed 50% of the gross floor area of each individual building above that which existed as of August 1, 1989.~~
- f. **EXTENSION OR ENLARGEMENTS OF PRINCIPAL AND ACCESSORY STRUCTURES SHOULD MAINTAIN FEATURES AND CHARACTER THAT ARE CONSISTENT WITH THE STRUCTURES THAT EXISTED AS OF AUGUST 1, 1989.**
- g. Adequate landscaping shall be provided to screen all parking areas from adjoining residential properties. Landscaping or screening proposed shall be shown on a site plan as required by this Ordinance.

**Relevant Issues**

I. Uses

- A. *Comprehensive Plan*: “Retain and promote existing businesses and assist in their growth.” (page 8)
- B. *Applicable Law*: Article VII, Section 7.16 of the Kent County Land Use Ordinance permits Country Inns as a special exception in the Critical Area Residential District.
- C. *Staff and TAC Comments*: A country inn has been operating on this site since 1984. The proposed cottages are an extension of a permitted use. In order to stay within the fifteen guest room limit, two guest rooms will be removed from service in the manor house. The manor house will have eleven rooms and each cottage will have two guest rooms. Building elevations have not been submitted but will be required. The cottages will need to have features and characteristics that are consistent with the existing manor house.

The proposed tent area provides an amenity common to other similar inns on large lots. The tent area will provide a permanent, stable base on which tents can be erected, as needed, for weddings or other events. The tent area is located on the south side of the property and is surrounded by existing trees/woodlands.

II. Density, Area, Height, Width and Yard Requirements

- A. *Applicable Law*: Article V, Section 5.5 of the Kent County Land Use Ordinance requires the minimum yard:

Front	50 ft
Side	15 ft
Rear	30 ft
Waterfront	Minimum 100 ft buffer

- B. *Staff and TAC Comments*: The proposed improvements meet the setback requirements.

III. District Environmental Standards

- A. *Comprehensive Plan*: “Encourage comprehensive stormwater management.” (Page 23)
- B. *Applicable Law*: Article V, Section 5.7 in the Kent County Land Use Ordinance establishes the Critical

Area Environmental Design Standards, which include stormwater and Critical Area standards. The purpose of these standards is to provide for the proper stewardship of the County's natural resources. Specifically, it is the overall goal of the County to maintain the quality of the County's ecosystem in the face of continuing activity, growth and change.

Article VI, Section 9 of the Kent County Land Use Ordinance sets forth the provisions for Erosion and Sediment Control and Section 10, Stormwater Management.

- C. *Staff and TAC Comments:* A Buffer Enhancement Plan is required for the increase in lot coverage. The total mitigation requirement is 15,619 square feet and the total provided mitigation is 15,800 square feet. COMAR 27.01.09.01-3 indicates that a Buffer Enhancement Plan over 5,000 square feet is required to be a major Buffer Enhancement Plan. This includes a maintenance plan, financial assurance, and other requirements from the State of Maryland. All species will need to be indicated for final site plan approval. The attached plan indicates that most of the plantings will be placed within the 100-foot buffer, with only a few plants placed just on the edge of the buffer. Mitigation consists of a mix of canopy and understory trees, large and small shrubs, and grasses. If the removal of existing vegetation becomes necessary, a Critical Area Forest Clearing Plan will be required.

Conceptual stormwater and sediment and erosion control plans have been submitted. Estimates and sureties, along with approved plans will be required for final site plan approval.

The project does not exceed the lot coverage limit of 15%. The total lot coverage after the proposed improvements will be 49,575 square feet, which is 13.4% of the total area.

#### IV. Parking and Loading Requirements

- A. *Applicable Law:* Article VI, Section 1.3 of the Kent County *Land Use Ordinance* establishes the parking standards. Lodging facilities require 1 space per guest unit, plus 1 per employee.
- B. *Staff and TAC Comments:* The applicants are increasing the existing parking on site. A gravel parking lot with 15 spaces is shown on the site plan. In addition, there is a 3-bay garage and possibly additional parking between the attached and detached garages. The applicant will need to provide additional information the number of employees and unmarked parking spaces. Overflow parking for events should also be indicated on the site plan.

#### V. Site Plan Review

- A. *Comprehensive Plan:* "Implement thorough design review for new development and major renovations." (Page 33)
- B. *Applicable Law:* Article VI, Section 5.3 of the Kent County *Land Use Ordinance* establishes site plan review procedures. The Planning Commission shall prepare findings of fact concerning the reasonable fulfillment of the objectives listed below.
- Conformance with the Comprehensive Plan and, where applicable, the Village Master Plan.
  - Conformance with the provisions of all applicable rules and regulations of county, state, and federal agencies.
  - Convenience and safety of both vehicular and pedestrian movement within the site and in relationship to adjoining ways and properties.
  - Provisions for the off-street loading and unloading of vehicles incidental to the normal operation of the establishment, adequate lighting, and internal traffic control.
  - Reasonable demands placed on public services and infrastructure.
  - Adequacy of methods for sewage and refuse disposal, and the protection from pollution of

both surface waters and groundwater. This includes minimizing soil erosion both during and after construction.

- g. Protection of abutting properties and County amenities from any undue disturbance caused by excessive or unreasonable noise, smoke, vapors, fumes, dust, odors, glare, stormwater runoff, etc.
- h. Minimizing the area over which existing vegetation is to be removed. Where tree removal is required, special attention shall be given to planting of replacement trees.
- i. The applicant's efforts to integrate the proposed development into the existing landscape through design features such as vegetative buffers, roadside plantings, and the retention of open space and agricultural land.
- j. The applicant's efforts to design the development to complement and enhance the rural and historic nature of the County including incorporating into the project forms and materials that reflect the traditional construction patterns of neighboring communities.
- k. The building setbacks, area, and location of parking, architectural compatibility, signage, and landscaping of the development, and how these features harmonize with the surrounding townscape and the natural landscape.

C. *Staff and TAC Comments:*

- The proposal is consistent with strategies and goals of the Comprehensive Plan.
- The property is served by private well and septic. The applicant has been working with the Health Department. An unconfined well will be sealed and abandoned and a new well installed. Additional septic reserve area has been shown on the site plan.
- Conceptual stormwater and erosion and sediment control plans have been submitted for review.
- A Major Buffer Enhancement Plan has been submitted. Over 15,000 square feet of buffer mitigation is required.
- Additional parking may be required and overflow parking for events should be shown on the site plan.
- The cottages will need to be designed to reflect the features and character of the existing manor house. Building elevations will be required in order for the Planning Commission to make a determination that the cottages are consistent with the country inn requirements.
- The cottages and tent area are enhancements of existing uses. Great Oak Manor already hosts weddings and other events. The applicant has attempted to integrate the cottages and tent area into the landscape in a way that is sensitive to the surrounding neighborhood.
- A Citizens Participation meeting was held on December 10, 2020. Only one landowner provided comments.

Cliff Road Properties, LLC - Great Oak Manor



Source: Kent County Department of Planning, Housing, and Zoning.  
Aerial taken Spring 2019. Map prepared December, 2020.

1 inch = 300 feet

Kent County Department of Planning, Housing and Zoning  
Kent County Government Center  
400 High Street • Chestertown, MD 21620  
410-778-7475 (phone) • 410-810-2932 (fax)

SITE PLAN APPLICATION

File Number: \_\_\_\_\_ Amount Paid: \_\_\_\_\_ Date: 11-19-20

Project Name: GREAT OAK MANOR

District: B Map: 26 Parcel: 76 Lot Size: 0.5 AC Deed Ref: 819/291 Zoning: CA1

LOCATION: FAIRLOVE NECK ROAD NEAR CHESTERTOWN

PROPOSED USE: EXPANSION OF EXISTING COUNTRY INN

OWNER OF LAND:

Name: CLIFF ROAD PROPERTIES LLC Telephone: 1-302-559-2598

Address: 10568 CLIFF ROAD  
CHESTERTOWN MD 21620 Email: \_\_\_\_\_

APPLICANT:

Name: OWNER - SEE ABOVE Telephone: \_\_\_\_\_

Address: \_\_\_\_\_ Email: \_\_\_\_\_

AGENT/ATTORNEY (if any):

Name: DMS - SEE BELOW Telephone: \_\_\_\_\_

Address: \_\_\_\_\_ Email: \_\_\_\_\_

REGISTERED ENGINEER OR SURVEYOR:

Name: DMS & ASSOCIATES - TOM DAVIS Telephone: 443-262-9130

Address: PO Box 80 COLLEVILLE MD 21117 Email: WTD@DMSANDASSOCIATES.COM

Please provide the email of the one person who will be responsible for responding to comments. Only this person will be contacted by staff and will be the person responsible for forwarding the comments or requests for additional information to any other interested parties. EMAIL: \_\_\_\_\_

Water Supply:  Public System  On lot system  
Sewerage:  Public System  On lot system

TELEPHONE SERVICED BY: THINK BIG INTERNET

ELECTRIC SERVICED BY: DELMARVA POWER

NOTICE: The Planning Office is not required to make out this Application. If the Planning Department assists you, it cannot be held responsible for its contents.

Signature of Applicant: [Signature] Member Date: 11/17/20  
HARRY REED - MEMBER  
CLIFF ROAD PROPERTIES, LLC

Concept Plan Approving Authority: \_\_\_\_\_ Date: \_\_\_\_\_  
 Preliminary Approving Authority: \_\_\_\_\_ Date: \_\_\_\_\_  
 Final Approving Authority: \_\_\_\_\_ Date: \_\_\_\_\_

## PROJECT NARRATIVE

### **Expansion of Great Oak Manor** Cliff Road Properties LLC, Near Chestertown, Maryland

In accordance with Article VI, Section 5.4.B of the Kent County Zoning Ordinance, we offer the following:

The site is located on the west side of Fairlee Neck Road near the intersection with Barnhart Boulevard. The 8.515 acre parcel is currently improved with the Great Oak Manor Country Inn with 13 guest rooms, a garage, access drive and parking areas comprising 0.776 ac of impervious area.

The property is identified as Tax Map 26 Parcel 76. The property is zoned Critical Area Residential (CAR). The site is located entirely within the Critical Areas with a land use designation of Limited Development Area

Cliff Road Properties, LLC (owner of Great Oak Manor) is proposing improvements to the site that includes 2 free standing cottage buildings with two guest rooms each, expanded parking areas to serve the cottages with two guest rooms, pedestrian paths to link the existing manor house to the cottages, a tent area for events, and an addition to the existing garage to provide storage areas. Two guest rooms in the existing manor house will be taken out of service such the resulting number of guest rooms for the site will be 15. The resulting site coverage does not exceed the 15% permitted.

It is anticipated that the improvements will be phased with the first phase consisting of the cottages, pedestrian paths and expanded parking. Phase 2 would consist of the tent area and addition to the garage. The buffer mitigation plantings required would be installed consistent with the phasing.

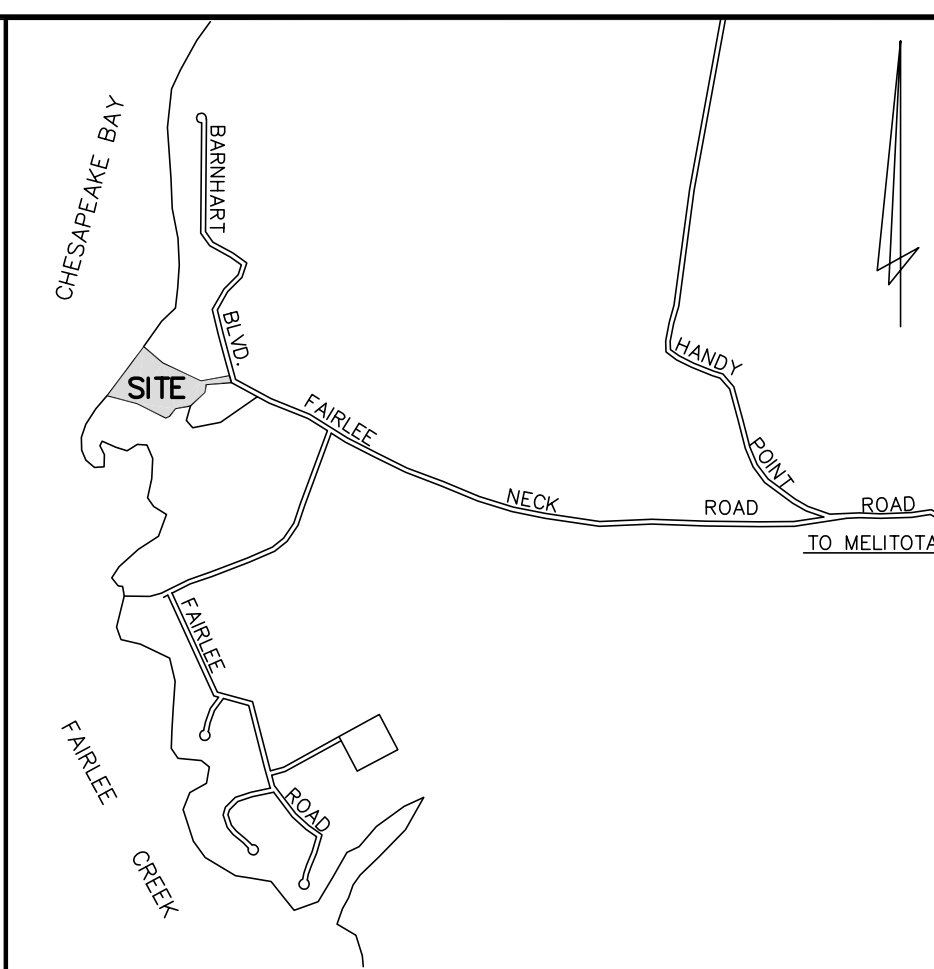
The site exists with a private septic system and potable water is supplied by an existing well.

There is no signage associated with this project.

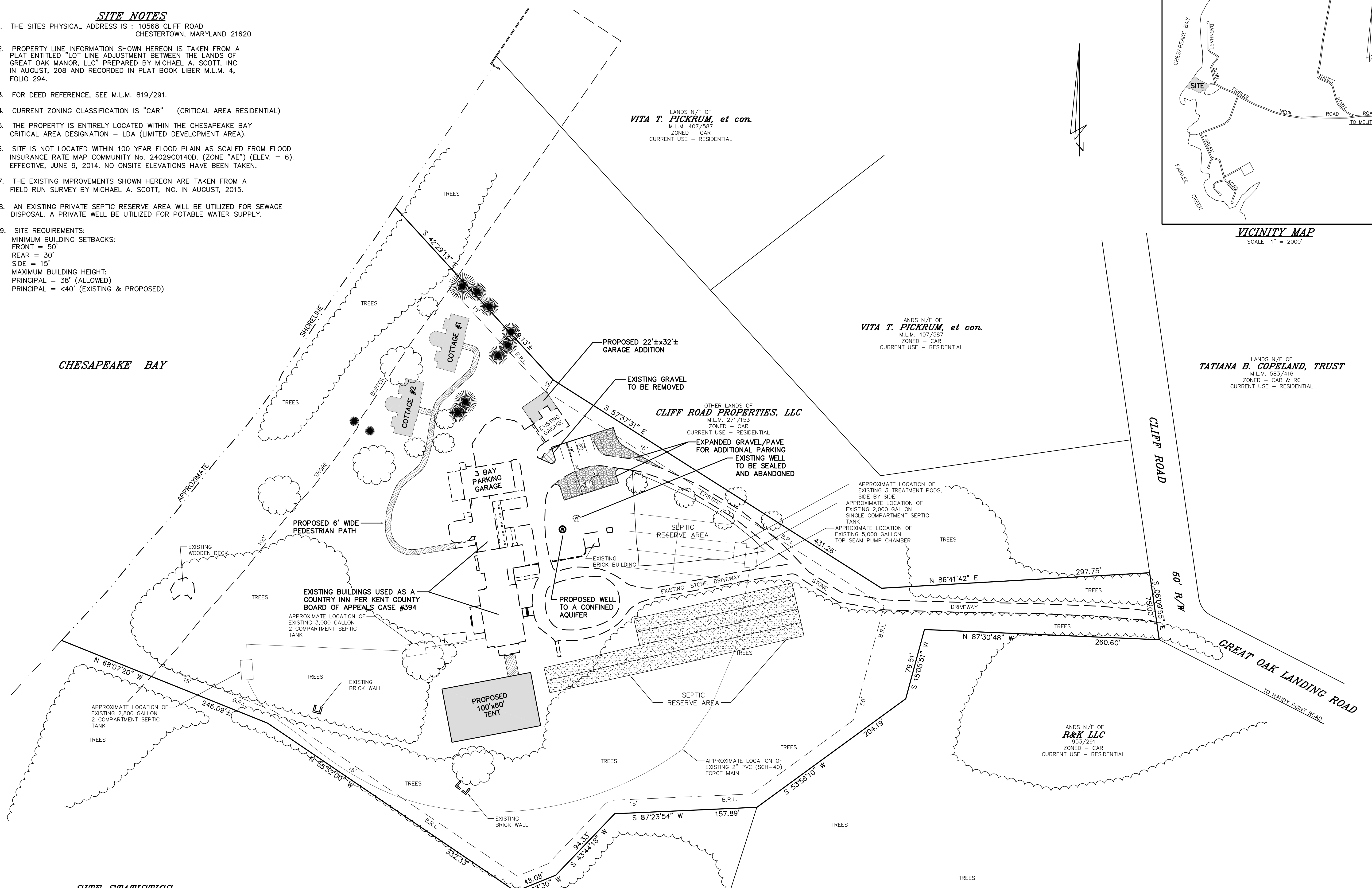
The property will be maintained by Cliff Road Properties, LLC

**SITE NOTES**

1. THE SITES PHYSICAL ADDRESS IS : 10568 CLIFF ROAD CHESTERTOWN, MARYLAND 21620
2. PROPERTY LINE INFORMATION SHOWN HEREON IS TAKEN FROM A PLAT ENTITLED "LOT LINE ADJUSTMENT BETWEEN THE LANDS OF GREAT OAK MANOR, LLC" PREPARED BY MICHAEL A. SCOTT, INC. IN AUGUST, 208 AND RECORDED IN PLAT BOOK LIBER M.L.M. 4, FOLIO 294.
3. FOR DEED REFERENCE, SEE M.L.M. 819/291.
4. CURRENT ZONING CLASSIFICATION IS "CAR" - (CRITICAL AREA RESIDENTIAL)
5. THE PROPERTY IS ENTIRELY LOCATED WITHIN THE CHESAPEAKE BAY CRITICAL AREA DESIGNATION - LDA (LIMITED DEVELOPMENT AREA).
6. SITE IS NOT LOCATED WITHIN 100 YEAR FLOOD PLAIN AS SCALED FROM FLOOD INSURANCE RATE MAP COMMUNITY No. 24029C0140D. (ZONE "AE") (ELEV. = 6). EFFECTIVE, JUNE 9, 2014. NO ONSITE ELEVATIONS HAVE BEEN TAKEN.
7. THE EXISTING IMPROVEMENTS SHOWN HEREON ARE TAKEN FROM A FIELD RUN SURVEY BY MICHAEL A. SCOTT, INC. IN AUGUST, 2015.
8. AN EXISTING PRIVATE SEPTIC RESERVE AREA WILL BE UTILIZED FOR SEWAGE DISPOSAL. A PRIVATE WELL BE UTILIZED FOR POTABLE WATER SUPPLY.
9. SITE REQUIREMENTS:  
 MINIMUM BUILDING SETBACKS:  
 FRONT = 50'  
 REAR = 30'  
 SIDE = 15'  
 MAXIMUM BUILDING HEIGHT:  
 PRINCIPAL = 38' (ALLOWED)  
 PRINCIPAL = <40' (EXISTING & PROPOSED)



PROFESSIONAL SEAL OF THE STATE OF MARYLAND  
 WILLIAM T. DAVIS, JR.  
 ENGINEER, DRAFTING/DESIGN, ENVIRONMENTAL SERVICES & SURVEYING  
 P.O. BOX 80  
 CENTREVILLE, MARYLAND 21617  
 PHONE: 1-443-262-9130  
 FAX: 1-443-262-9148



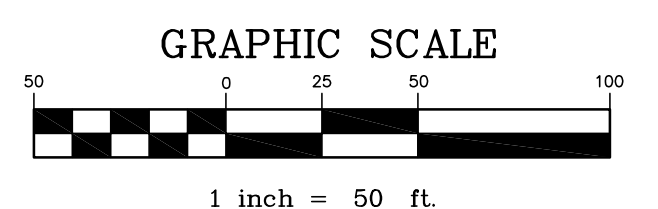
**SITE STATISTICS**

GROSS AREA	=	370,901 sq. ft.± (8.515 ac.±)
NON-CRITICAL AREA	=	0,000 sq. ft.± (0.000 ac.±)
CRITICAL AREA	=	370,901 sq. ft.± (8.515 ac.±)
MAXIMUM IMPERVIOUS AREA ALLOWED (15%)	=	55,635 sq. ft.± (1.277 ac.±)
IMPERVIOUS AREA (EXISTING) (9.1%)	=	33,799 sq. ft.± (0.776 ac.±)
IMPERVIOUS AREA TO BE REMOVED (EXISTING)	=	157 sq. ft.± (0.004 ac.±)
IMPERVIOUS AREA (PROPOSED)	=	9,776 sq. ft.± (0.224 ac.±)
COVERAGE OF PROPOSED TENT AREA	=	6,000 sq. ft.± (0.138 ac.±)
PROPOSED COVERAGE AREA (TOTAL)	=	15,776 sq. ft.± (0.362 ac.±)
IMPERVIOUS AREA (TOTAL) (13.4%)	=	49,575 sq. ft.± (1.138 ac.±)
IMPERVIOUS AREA (REMAINING) (1.60%)	=	6,060 sq. ft.± (0.139 ac.±)

LANDS N/F OF  
**GREAT OAK LANDING, L.P.**  
 E.H.P. 198/241  
 ZONED - RCD & RC  
 CURRENT USE - COMMERCIAL

**OWNER:**  
 CLIFF ROAD PROPERTIES, LLC  
 c/o HARRY REED  
 10568 CLIFF ROAD  
 CHESTERTOWN, MARYLAND 21620  
 PHONE No. 1-302-559-2598

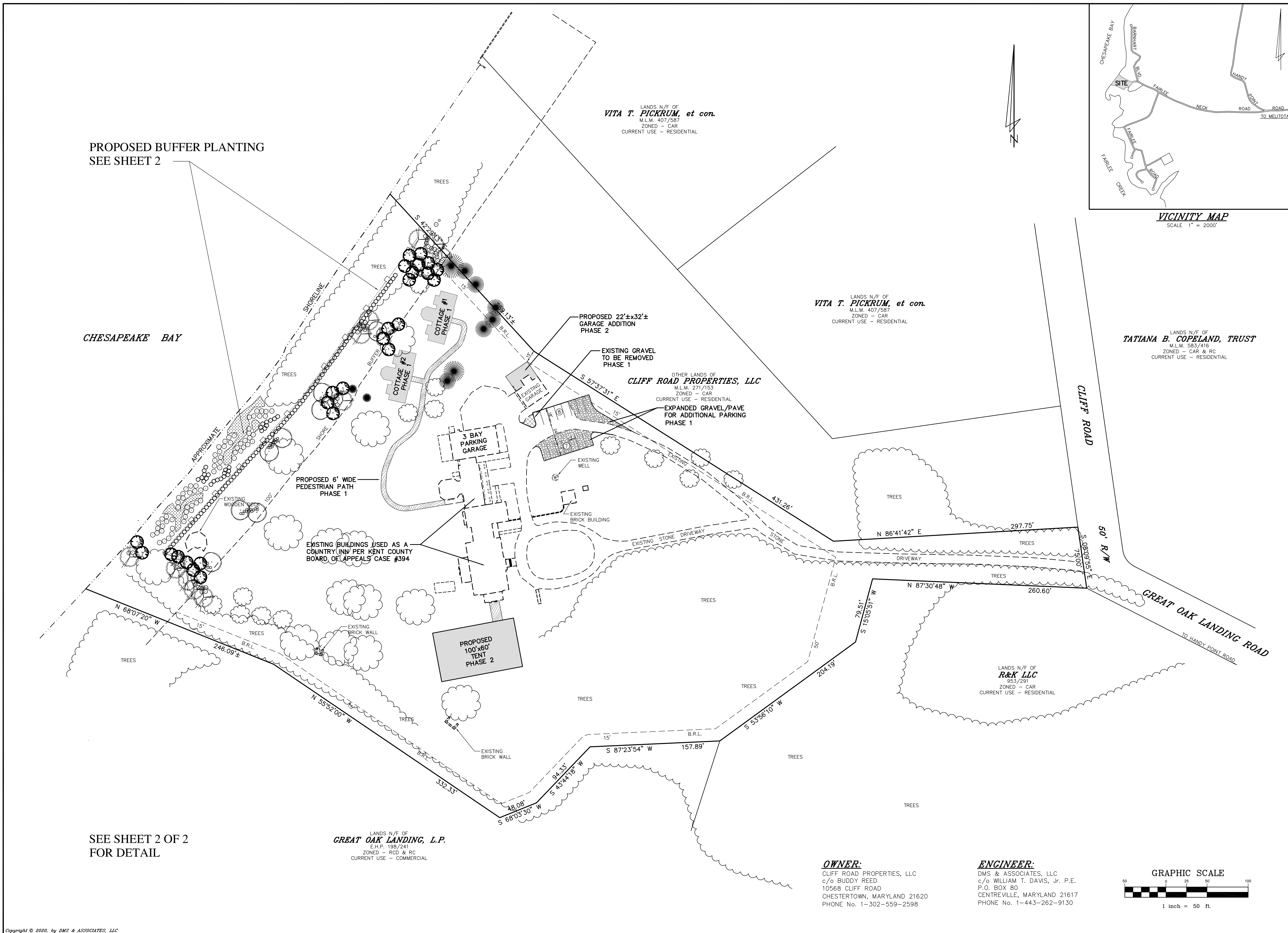
**ENGINEER:**  
 DMS & ASSOCIATES, LLC  
 c/o WILLIAM T. DAVIS, JR. P.E.  
 P.O. BOX 80  
 CENTREVILLE, MARYLAND 21617  
 PHONE No. 1-443-262-9130



DATE	REVISION	PER COMMENTS
12-16-20		

CONCEPTUAL SITE PLAN  
 FOR  
**GREAT OAK MANOR COUNTRY INN**  
 ON THE LANDS OF  
**CLIFF ROAD PROPERTIES, LLC**  
 TAX MAP - 26, GRID - 2D, PARCEL - 76  
 SIXTH ELECTION DISTRICT, KENT COUNTY, MARYLAND

DATE	NOVEMBER 20	SCALE	1" = 50'
JOB No.	2017058	DRAWN BY	W.T.D.
FOLDER Ref.	28-2017058	DESIGNED BY	W.T.D.
SHEET No.	-	WTD. J.	
CADD FILE	- 17058-SF		



PROPOSED BUFFER PLANTING  
SEE SHEET 2

CHESAPEAKE BAY

SEE SHEET 2 OF 2  
FOR DETAIL

LANDS N/F OF  
**VITA T. PICKRUM, et con.**  
M.L.M. 407/587  
ZONED - CAR  
CURRENT USE - RESIDENTIAL

LANDS N/F OF  
**VITA T. PICKRUM, et con.**  
M.L.M. 407/587  
ZONED - CAR  
CURRENT USE - RESIDENTIAL

OTHER LANDS OF  
**CLIFF ROAD PROPERTIES, LLC**  
M.L.M. 271/153  
ZONED - CAR  
CURRENT USE - RESIDENTIAL

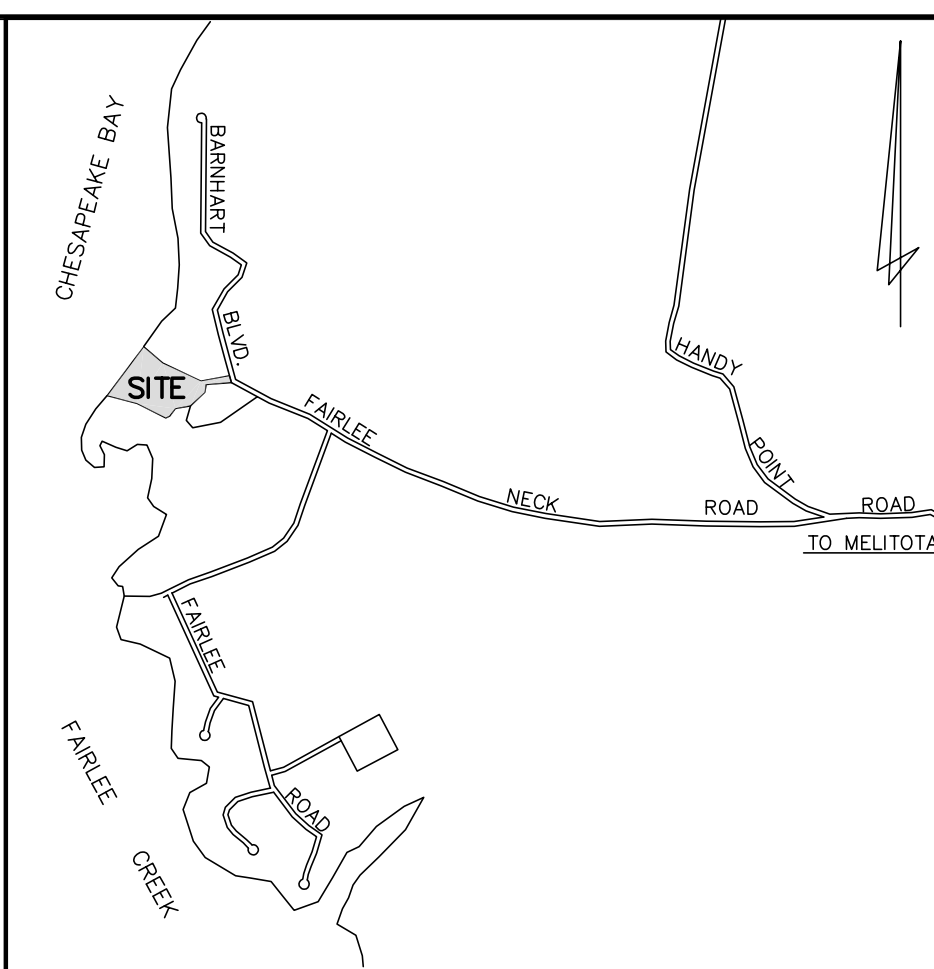
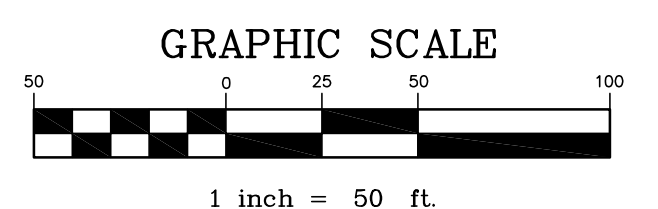
LANDS N/F OF  
**TATIANA B. COPELAND, TRUST**  
M.L.M. 583/416  
ZONED - CAR & RC  
CURRENT USE - RESIDENTIAL

LANDS N/F OF  
**GREAT OAK LANDING, L.P.**  
E.H.P. 198/241  
ZONED - RCD & RC  
CURRENT USE - COMMERCIAL

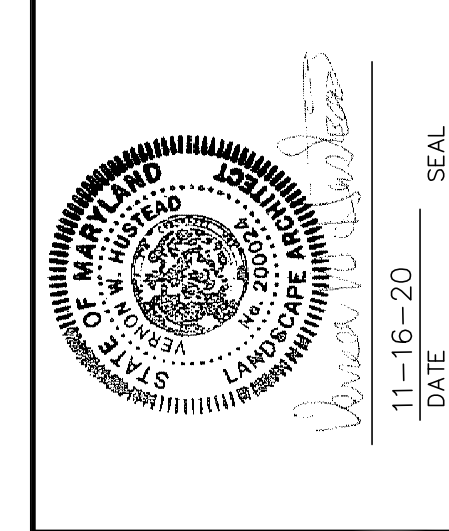
LANDS N/F OF  
**R&K LLC**  
953/291  
ZONED - CAR  
CURRENT USE - RESIDENTIAL

**OWNER:**  
CLIFF ROAD PROPERTIES, LLC  
c/o BUDDY REED  
10568 CLIFF ROAD  
CHESTERTOWN, MARYLAND 21620  
PHONE No. 1-302-559-2598

**ENGINEER:**  
DMS & ASSOCIATES, LLC  
c/o WILLIAM T. DAVIS, Jr. P.E.  
P.O. BOX 80  
CENTREVILLE, MARYLAND 21617  
PHONE No. 1-443-262-9130



DATE	11-16-20
SCALE	1" = 2000'



**DAVIS, MOORE, SHEARON & ASSOCIATES, LLC**  
CENTREVILLE, MARYLAND 21617  
**HUSTEAD Landscape Architecture, LLC**  
120 Bay Meadows Lane  
Stevensville, MD, 21166  
Phone - 443.988.2294  
E-mail: Vthustead@husteadia.com Web: www.Husteadia.com

REVISION	DATE	PER COMMENTS
	12/16/20	

CONCEPTUAL BUFFER MANAGEMENT PLAN  
FOR  
**GREAT OAK MANOR COUNTRY INN**  
ON THE LANDS OF  
**CLIFF ROAD PROPERTIES, LLC**  
TAX MAP - 26, GRID - 2D, PARCEL - 76  
SIXTH ELECTION DISTRICT, KENT COUNTY, MARYLAND

DATE	NOVEMBER 20	SCALE	1" = 50'
JOB No.	2017058	DRAWN BY	WJM
FOLDER #4	28-2017058	DESIGNED BY	WTD, Jr.
SHEET No.	- 1 OF 2	DATE	11-16-20
CADD FILE	- 17058-SP		



**PLANTING LEGEND**

- PHASE 1  
PROPOSED FENCE
- CLUSTER 1A  
(1 CANOPY TREE + 3 LARGE SHRUBS)
- CLUSTER 2A  
(2 UNDERSTORY TREES + 6 SMALL SHRUBS)
- LARGE SHRUB
- SMALL SHRUB
- GRASSES
- PHASE 2  
CLUSTER 1B  
(1 CANOPY TREE + 6 SMALL SHRUBS)



**MITIGATION REQUIREMENTS**

PHASE 1  
PROPOSED IMPERVIOUS AREA: 9,072 SQ.FT. (PROPOSED IMPERVIOUS AREA) - 157 SQ.FT. (EXISTING IMPERVIOUS AREA TO BE REMOVED) = 8,871 SQ. FT.  
REQUIRED MITIGATION PH 1: 8,915 SQ.FT. @ 1:1 = 8,915 SQ.FT.

PHASE 2  
PROPOSED IMPERVIOUS AREA: 6,704 SQ.FT.  
REQUIRED MITIGATION PH 2 : 6,704 SQ.FT. @ 1:1 = 6,704 SQ.FT.

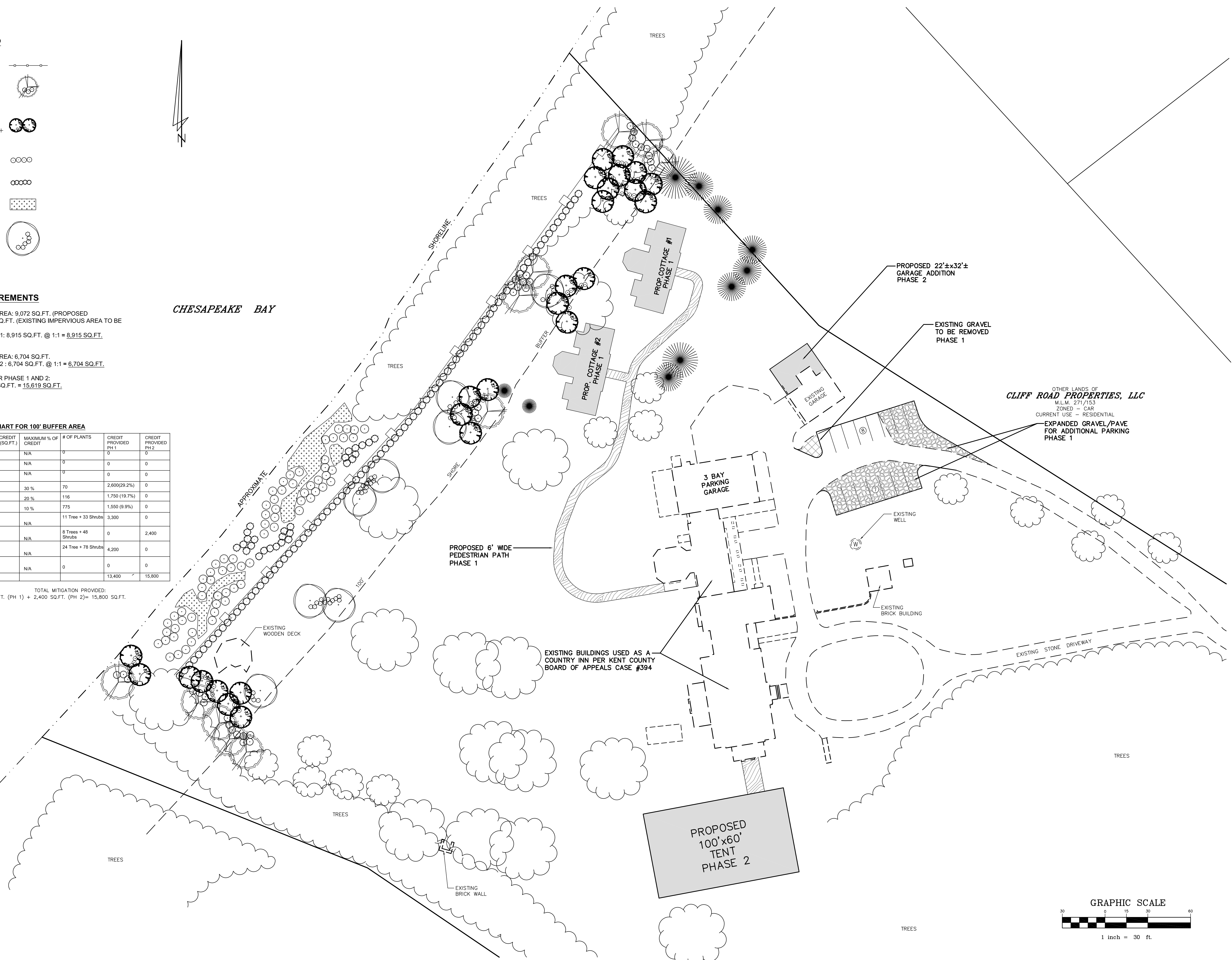
REQUIRED MITIGATION FOR PHASE 1 AND 2:  
8,871 SQ.FT. + 6,748 SQ.FT. = 15,619 SQ.FT.

**PROPOSED MITIGATION CHART FOR 100' BUFFER AREA**

VEGETATION TYPE	MAXIMUM CREDIT ALLOWED (SQ.FT.)	MAXIMUM % OF CREDIT	# OF PLANTS	CREDIT PROVIDED PH 1	CREDIT PROVIDED PH 2
2" CANOPY TREE	200	N/A	0	0	0
1" CANOPY TREE	100	N/A	0	0	0
UNDERSTORY TREE	75	N/A	0	0	0
LARGE SHRUB	50	30 %	70	2,600(29.2%)	0
SMALL SHRUB	25	20 %	116	1,750 (19.7%)	0
GRASSES/PERENNIAL	2	10 %	775	1,550 (9.9%)	0
PLANTING CLUSTER 1 W/LARGE SHRUBS	300	N/A	11 Tree + 33 Shrubs	3,300	0
PLANTING CLUSTER 1 W/SMALL SHRUBS	300	N/A	8 Trees + 48 Shrubs	0	2,400
PLANTING CLUSTER 2 W/LARGE SHRUBS	350	N/A	24 Tree + 78 Shrubs	4,200	0
PLANTING CLUSTER 2 W/SMALL SHRUBS	350	N/A	0	0	0
<b>TOTAL</b>				<b>13,400</b>	<b>15,800</b>

TOTAL MITIGATION PROVIDED:  
13,400 SQ.FT. (PH 1) + 2,400 SQ.FT. (PH 2) = 15,800 SQ.FT.

CHESAPEAKE BAY



OTHER LANDS OF  
**CLIFF ROAD PROPERTIES, LLC**  
M.L.M.: 271/153  
ZONED - CAR  
CURRENT USE - RESIDENTIAL  
EXPANDED GRAVEL/PAVE FOR ADDITIONAL PARKING PHASE 1

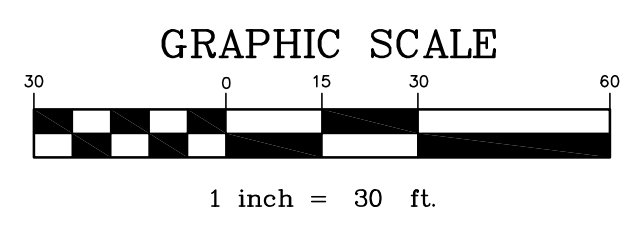
Professional seal and signature area for the landscape architect.

**DAVIS, MOORE, SHEARON & ASSOCIATES, LLC**  
CENTREVILLE, MARYLAND 21617  
**HUSTEAD Landscape Architecture, LLC**  
120 Bay Meadows Lane, Stevensville, MD, 21166  
Phone: 443.988.2294  
E-mail: [Vhustead@husteadla.com](mailto:Vhustead@husteadla.com) Web: [www.Husteadla.com](http://www.Husteadla.com)

DATE	REVISION PER COMMENTS
12/16/20	

CONCEPTUAL BUFFER MANAGEMENT PLAN  
FOR  
**GREAT OAK MANOR COUNTRY INN**  
ON THE LANDS OF  
**CLIFF ROAD PROPERTIES, LLC**  
TAX MAP - 26, GRID - 2D, PARCEL - 76  
SIXTH ELECTION DISTRICT, KENT COUNTY, MARYLAND

DATE	NOVEMBER 20	SCALE	1" = 30'
JOB No.	2017058	DRAWN BY	VH
FOLDER #64	28-2017058	DESIGNED BY	VH
SHEET No.	2 OF 2		
CADD FILE	17058-BP		





## Kent County Planning Commission

### Bylaws

#### SECTION 1 ANNUAL MEETING

The annual meeting of the Planning Commission shall be the first regular meeting in the month of March of each year. Such meeting shall be devoted to the election of officers for the ensuing year and such other business as shall be scheduled.

#### SECTION 2 REGULAR MEETINGS

Regular meetings of the Planning Commission shall be held in the County Commissioners Hearing Room, Kent County Government Center, 400 High Street, Chestertown, MD on the first Thursday of each month and shall be open to the public. At such meetings, the Commission shall consider all matters properly brought before it without the necessity of prior notice thereof to any members. Meetings may be continued if the need arises. A regular meeting may be canceled or rescheduled as deemed appropriate by the Planning Commission. Notice of canceled, relocated or rescheduled meetings shall be published in the local newspaper if time permits and posted on the door or blackboard at the entrance to the Department of Planning, Housing, and Zoning or on the glass doors at the Calvert Street entrance to the building.

#### SECTION 3 SPECIAL MEETINGS

Special Meetings of the Planning Commission shall be held only by a decision of the majority of the Planning Commission members or by request of the Board of County Commissioners of Kent County. The Planning Commission shall determine the time and place of the special meeting. Notice of such meetings shall be given to all the members and the public not less than forty-eight hours in advance thereof by posting on the door or blackboard at the entrance to the Department of Planning, Housing, and Zoning and if time permits by publication in the local newspaper.

#### SECTION 4 QUORUM

At any meeting of the Planning Commission, a quorum shall consist of four [citizen](#) members of the Commission. No action shall be taken in the absence of a quorum except to adjourn the meeting to a subsequent date.

#### SECTION 5 VOTING

At all meetings of the Planning Commission, each [citizen](#) member attending shall be entitled to cast one vote. [An ex-officio member appointed by the Kent County Commissioners, pursuant to § 199-2 of the Kent County Code, shall vote only in the case of a tie vote by the other citizen members.](#) Voting shall be by voice. In the event that any member shall have a personal interest of any kind that would affect their ability to render a decision of a matter then before the Commission based

solely on the evidence, he shall disclose his interest and be disqualified from voting upon the matter, and the secretary shall so record in the minutes that no vote was cast by such member. The affirmative vote of a majority of those members voting shall be necessary to pass any motion. ~~A tie vote shall fail passage of a motion.~~

## SECTION 6 PROCEEDINGS

- A. At any regular meeting of the Planning Commission, the following shall be the regular order of business:
- The Chairman will call the meeting to order.
  - The Chairman will state that the members have had an opportunity to review the agenda and will ask if a member has anything to disclose.
  - The minutes will be read; changes noted; and a vote taken on the minutes.
  - Each agenda item will be taken and will be followed in order:
    1. Staff reports will be taken;
    2. Applicant will present case;
    3. Planning Commission will ask questions;
    4. Citizens ask questions or present comments on the proposal;
    5. Applicants make a final statement;
    6. Staff will present any additional recommendations or comments;
    7. Planning Commission will have a general discussion;
    8. Motion will be made and seconded;
    9. Motion will be discussed; and
    10. Vote will be taken by all members.
  - Officers and staff will present reports.
  - General discussion.
  - Adjourn.
- B. Each formal action of the Planning Commission required by law, rule or regulations shall be embodied in a formal motion duly carried and entered in full upon the Minute Book after a vote as provided in Section 5 hereof.
- C. The Planning Commission may permit electronic presentations with advance notice of one week or as approved by the Planning Director. A copy of the presentation shall be provided to the Department of Planning, Housing, and Zoning for inclusion in the project file either before or as a part of the presentation at the meeting.
- D. The Planning Commission may place time limits on presentations and testimony.

## SECTION 7 RULES OF PROCEDURE

All meetings of the Planning Commission shall be conducted in accordance with Robert's Rules of Order and Maryland's Open Meetings Act. Rules of evidence shall be relaxed; however, the burden of proof shall remain with the applicant. All witnesses (including staff) who are testifying for those cases that are executive functions of the Planning Commission shall testify under oath.

The Commission welcomes testimony from the public at its meetings. If any Person wishes to bring to the Board's attention complex data, reports, or arguments, that Person should submit the material in writing one week before the hearing and the planning staff will note in the staff report that additional information is in the file for review by the Commission. The Commission may limit the time allotted for oral testimony and may leave the record open to receive written testimony. Each Person offering oral testimony should summarize major points that are more fully discussed in written testimony and refrain from repetitious oral testimony. Because hearings conducted under these rules are quasi-judicial in character, those presenting testimony are advised to observe general rules of decorum and address only the issues before the Board.

## SECTION 8 CONFLICTS OF INTEREST

To promote confidence and trust in the conduct of public business, members of the Planning Commission and Planning Staff must, at all times and in all respects, observe an affirmative obligation to disclose any actual, apparent or potential conflict of interest pertaining to any application that is subject to the Planning Commission's jurisdiction.

## SECTION 9 EX PARTE COMMUNICATIONS

To preserve public confidence in the fairness of Planning Commission deliberations and decisions, the Planning Commission should ensure that the public and interested Persons have the opportunity to know, and respond to, all information that the Planning Commission considers in making its decisions. The Planning Commission should also ensure that all members have the same opportunity to know and consider any relevant evidence provided to any other Planning Commission member. The Commission may take administrative notice of facts in common knowledge and matters falling within any member's experience and expertise, as disclosed by that member, in reaching a decision on a matter.

When considering any matter, all interested parties need the assurance that other interested parties will not have an unfair advantage in presenting their version of the relevant facts or concerns to the Commission. To that end, Commission members must avoid communicating with applicants or any other persons about a pending application except at Commission meetings when the application is considered.

Each Planning Commission member must not communicate with any person, other than planning staff, about the merits or facts of any pending application, except during the Commission meeting when the application is considered. If the Commission finds that any person has intentionally communicated or attempted to communicate with a Commission member, the Commission may impose an appropriate sanction including the exclusion of any testimony by the person from the record of the matter to which the prohibited communication pertained.

If a Planning Commission member receives unsolicited communications about a pending application outside of a Commission meeting, the member must disclose and describe the communications at the earliest opportunity during the Commission's consideration of the proposal.

Subject only to the applicable provisions of the Maryland Open Meetings Act, nothing applies to or otherwise restricts any member of the Planning Commission from communicating with the planning staff, or Commission legal counsel for the purpose of obtaining information or advice. This also does not restrict any Commission member from communicating with any third party in connection with any matter other than an application considered by the Commission.

## SECTION 10 OFFICERS

The Officers of the Planning Commission shall consist of a Chairman and Vice Chairman voted upon by the Commission members at the annual meeting for a term of one year. The Ex-Officio cannot hold office. The member who serves in lieu of the Ex-Officio may hold office.

## SECTION 11 DUTIES OF OFFICERS

The duties and powers of the Officers of the Planning Commission shall be as follows:

- A. Chairman
  1. Preside at all meetings of the Commission; and
  2. Call special meetings of the Commission in accordance with these bylaws.
  
- B. Vice Chairman
  1. During the absence of the Chairman, the Vice Chairman shall exercise or perform all the duties and shall be subject to all responsibilities of the Chairman.
  2. During the absence, disability or disqualification of the Chairman and the Vice Chairman, the member who has served on the Commission the longest shall exercise or perform all the duties and be subject to all the responsibilities of the Chairman.
  
- C. Department of Planning, Housing and Zoning.
  1. Keep the minutes of all meetings of the Commission in an appropriate Minute Book.
  2. Give or serve all notices required by law or these bylaws.
  3. Prepare the agenda for all meetings of the Commission. Projects will not be placed on the agenda unless the Department of Planning, Housing and Zoning receives a complete application a minimum of twenty days before the meeting. The Technical Advisory Committee shall review applicable projects at least twice before the Planning Commission meeting.
  4. Be custodian of Commission records, all of which shall be open to the public. Appropriate fees may be charged for copies.
  5. Inform the Commission of correspondence relating to business of the Commission and to attend to such correspondence when directed by the Chairman.
  6. See that all actions of the Commission are properly executed.
  7. All deed, covenants and restrictions shall be approved and signed by the Planning Commission attorney before recordation.

## SECTION 12 RESPONSIBILITIES OF MEMBERS OF THE PLANNING COMMISSION

1. Attend and freely participate in discussions at regular and special meetings.
2. Develop understanding of Article 66 B of the Public General Laws of Maryland; Maryland Open Meetings Act; the Kent County Comprehensive Plan, the Zoning, Subdivision, Floodplain Management, Sediment and Erosion Control, Stormwater Management, and Forest Conservation Ordinances within the spirit and intent of these documents.
3. Recommend courses of action to the County Commissioners and respond to requests for action by them.
4. Introduce subjects for the Commission's consideration.
5. Gain an understanding of applicable State and Federal agencies.
6. Gain an understanding of the workings of other local administrative bodies.
7. Take appropriate actions to demonstrate a vigorous, thoughtful and positive influence of the County's well being within its authority.
8. Make personal inspections, when necessary, of land and other situations that require Commission action.
9. Help the general public to understand and accept the Comprehensive Plan, Zoning Ordinance and Subdivision Ordinance.

## SECTION 13 VACANCIES

Should any vacancy occur among the members of the Commission by reason of death, resignation, disability or otherwise, immediate notice thereof shall be given to the County Commissioners by the Department of Planning, Housing and Zoning. Should any vacancy occur among the officers of the Commission, the vacant office shall be filled by election at the next scheduled meeting, in accordance with Section 10 of these bylaws, such officer to serve the unexpired term of the office in which such vacancy shall occur.

## SECTION 14 AMENDING BYLAWS

The Planning Commission may amend these bylaws at any meeting of the Commission provided notice of said proposed meeting is given to each member in writing at least five days prior to said meeting and posted on the door or blackboard at the entrance to the Department of Planning, Housing, and Zoning. A copy of these bylaws will be provided to the County Commissioners of Kent County.

These bylaws were adopted by the Planning Commission at its October 28, 1993 meeting and amended at its April 2, 1998, March 2, 2000, ~~and~~ July 3, 2008, and \_\_\_\_\_, 2021 meetings.

**Chapter 199**  
**PLANNING COMMISSION**

**GENERAL REFERENCES**

**Administration of government – See Ch. 3.**

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**§ 199-1. Creation.**

The Planning Commission shall be and is hereby created for Kent County, Maryland, in accordance with § 3.01 of Article 66B of the Annotated Code of Maryland. The name of said Planning Commission shall be "Kent County Planning Commission."

**§ 199-2. Composition. [Amended 5-7-1991 by Bill No. 2-91]**

The Planning Commission shall consist of seven (7) members as follows:

- A. A County Commissioner of Kent County may be appointed by the County Commissioners to serve as an ex officio member. The ex officio member shall vote only in the case of a tie vote by the six (6) other members.
- B. In the event that the Kent County Commissioners appoint a seventh member to serve on the Planning Commission in lieu of a County Commissioner, said member shall be selected on the basis of qualifications and experience, have an unrestricted vote and shall serve no longer than the term of the County Commissioners making the appointment.
- C. Six (6) other members shall be appointed by the Kent County Commissioners and shall be selected on the basis of their qualifications and experience.

**§ 199-3. Terms.**

- A. The term of office for each of the seven (7) members so appointed shall be five (5) years, or until a successor is appointed and takes office. **[Amended 5-7-1991 by Bill No. 2-91<sup>1</sup>]**
- B. The ex officio member shall serve for the term of the office to which he was elected, unless replaced by another Commissioner to serve for a part of the term.

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**1. Editor's Note: Amended at time of adoption of Code, see Ch. 1, General Provisions, Art. I.**



**§ 199-4. Compensation.**

The members of the Planning Commission may be compensated as the County Commissioners deem appropriate.

**§ 199-5. Chairperson.**

The Commission shall elect a Chairperson from one (1) of the appointed members and create and fill such other of its offices as it may determine. The term of the Chairperson shall be one (1) year, with eligibility for reelection.

**§ 199-6. Meetings; rules; record.**

The Commission shall hold at least one (1) regular meeting each month. It shall adopt rules for the transaction of business and shall keep a record of its resolutions, transactions, findings and determinations, which records shall be a public record.

**§ 199-7. Additional employees.<sup>2</sup>**

The Board of County Commissioners may appoint such employees as it may deem necessary to the Planning Commission in its work and may also contract with planners, engineers, architects and other consultants for such services as may be required.

**§ 199-8. Expenditures.**

The expenditures of the Commission, exclusive of gifts, shall be under such conditions and within the amounts appropriated for the purpose by the County Commissioners of Kent County.

**§ 199-9. Powers and duties.**

The Commission shall have the powers and duties as now or hereafter provided for in Article 66B of the Annotated Code of Maryland (1957 Edition, as amended) and the Laws of Kent County, Maryland.

**§ 199-10. Director of Planning and Zoning Administration.**

- A. The office of the Director of Planning and Zoning Administration of Kent County is created. The Board of County Commissioners of Kent County may appoint a Director of Planning and Zoning Administration from time to time. He shall be selected on the basis of his planning and zoning knowledge and experience and experience in administrative and public affairs. The Director of Planning and Zoning Administration shall receive an annual salary to be established by the County Commissioners.<sup>3</sup>

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2. Editor's Note: Amended at time of adoption of Code; see Chapter 1, General Provisions, Art. I.

- B. The Director of Planning and Zoning Administration shall devote his full time to the work of the county planning and zoning administration, and he shall be responsible to the County Commissioners for the proper administration of his affairs. He shall at all times be held responsible for the proper discharge of his duties, but may delegate to an appropriate employee such authority as he deems necessary to carry out the duties of his office.<sup>4</sup>
- C. The Director of Planning and Zoning Administration for the county shall have the following powers and duties:
- (1) He shall work under the guidance of the Kent County Planning Commission and direction from the County Commissioners of Kent County, Maryland. He shall plan, manage and supervise the daily work of the Commission's office and provide for supervision of its employees.
  - (2) He shall prepare and review the initial application for grants and other assistance.<sup>5</sup>
  - (3) He shall provide immediate and long-range planning in cooperation with other agencies and communities concerned with county development; study economic, social, education, physical and fiscal conditions of Kent County; prepare surveys, data, summaries and programs; inform the County Commissioners of current plans, programs and projects; render technical assistance to the Planning Commission in reviewing of applications for buildings, conditional uses and subdivision; provide for liaison between the Planning Commission and other governmental agencies; prepare the annual budgets, grants, applications and other requests for assistance; assure compliance with laws, ordinances and regulations governing new construction; conduct on-site inspections; advise builders; arrange for cease and desist orders; assist the Attorney in the prosecution of violators; consult with other departments and agencies regarding actual or alleged occupancy, utilization, building construction and other aspects of land and building use which may relate to the current zoning of a particular tract of land; and inspect property on an established routine basis and on a special-incident basis to observe structures and their use relative to the zoning requirements.
  - (4) He shall perform such other duties as may be given him by the County Commissioners of Kent County and the Planning Commission.

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3. **Editor's Note: Amended at time of adoption of Code; see Ch. 1, General Provisions, Art. I. Original Section 6-3(a), age requirements for the Director, which immediately followed this section, was deleted at time of adoption of Code; see Chapter 1, General Provisions, Art. I.**

4. **Editor's Note: Amended at time of adoption of Code; see Ch. 1, General Provisions, Art. I.**

5. **Editor's Note: Amended at time of adoption of Code; see Ch. 1, General Provisions, Art. I.**

- D. In the absence of the Director of Planning and Zoning Administration, the County Commissioners may appoint an Acting Director of Planning and Zoning Administration. During the period of holding this position, the Acting Director of Planning and Zoning Administration has all powers, duties, functions and responsibilities of the office of the Director of Planning and Zoning Administration.