



COUNTY COMMISSIONERS HEARING ROOM
400 HIGH STREET
CHESTERTOWN, MARYLAND

AGENDA
September 23, 2024
5:00 p.m.

APPLICATIONS FOR REVIEW

24-42 William and Linda Joyce – Variance – Steep Slope and Expanded Buffer
29349 Glencoe Road, Kennedyville – Second Election District – Zoned Critical Area Residential (CAR)

MINUTES

August 19, 2024

ADJOURN

Members of the public are welcome to attend meetings in person or via conference call.

Public participation and audio-only call-in number:

1. Dial **1-872-239-8359**
2. Enter Conference ID: **178 565 475#**

PHONE PARTICIPATION – Members of the public are asked to mute their phones/devices, until the Chair opens the floor for comment. Please note that phone participation is dependent on service carriers and internet providers, this option may not be available for all meetings or be available during the entire meeting. In-person attendance is always recommended.

ONLINE VIEWING – Please note that although many meetings are recorded, the availability of video online is dependent on internet availability and functionality. Some members of the public may be able to watch a live video feed and/or view the video after the meeting at the County’s YouTube channel at <https://www.youtube.com/@kentcountygovernment2757>.

PROTOCOL – Meetings are conducted in open session unless otherwise indicated. All or part of the meetings can be held in closed session under the authority of the MD Open Meetings Law by vote of the members. Breaks are at the call of the Chair. Meetings are subject to audio and video recordings. All applicants will be given the time necessary to assure full public participation and a fair and complete review of all projects. Agenda items are subject to change due to cancellations.



Planning Commission
Department of Planning, Housing, and Zoning

September 6, 2024

Dr. Al Townshend
Kent County Board of Appeals
400 High Street
Chestertown, MD 21620

RE: 24-42 William and Linda Joyce – Steep Slope and Buffer Variance

Dear Dr. Townshend,

At its September 5, 2024, meeting, the Kent County Planning Commission reviewed the application of William and Linda Joyce, requesting a variance to construct an ADA compliant carport, retaining wall, driveway, and wooden walkway on a slope greater than 15% and in an expanded buffer within the Critical Area. The 2.81-acres property is located at 29349 Glencoe Road, Kennedyville, in the Second Election District and is zoned Critical Area Residential (CAR).

Following discussion, the Planning Commission voted to make a favorable recommendation for the variance. The decision was based on the following findings of fact:

- The Kent County Health Department has no objections to the application.
- There is no known detriment to adjacent or neighboring properties or change in the character of the neighborhood will be caused by the proposed variance.
- The proposal is consistent with the Comprehensive Plan.
- The practical difficulty, which has not been created by the applicants, is created by the steep slopes around the main house, including the ravine on the east side of the property causing the buffer expansion.
- There is no known adverse impact to water quality, fish, wildlife, or plant habitat will be caused by the proposed variance.
- The application has been sent to the Critical Area Commission for review.
- The proposed variance would provide for continued, safe, and ADA accessible use of the property.
- Strict application of the ordinance would produce an unwarranted hardship.
- This hardship is not known to be shared by other properties within the vicinity or as a common feature in the zoning district.
- A literal interpretation of the ordinance would deprive the applicants of the rights commonly enjoyed by other properties in similar areas within the Critical Area of Kent County.
- The variance also would not confer upon the applicants any special privilege that would be denied to other lands or structures.

Sincerely,
Kent County Planning Commission

Joe Hickman
Chair

FJH/mc

cc: Miles Barnard, ASLA RLA, Principal, South Fork Studio Landscape Architecture, Inc.

Wes Moore
Governor

Aruna Miller
Lt. Governor



Erik Fisher
Chair

Katherine Charbonneau
Executive Director

**STATE OF MARYLAND
CRITICAL AREA COMMISSION
CHESAPEAKE AND ATLANTIC COASTAL BAYS**

September 13, 2024

Dr. Albert Townshend
Kent County Board of Appeals
400 High Street
Chestertown, MD 21620

Re: Joyce Variance

Dear Dr. Townshend,

Our office has received information on the above referenced variance request and have been in contact with the County regarding permitted structures on-site. The applicants, William and Linda Joyce, are requesting a variance to disturb steep slopes and the expanded Buffer at 29349 Glencoe Road in Kennedyville. The 2.81-acre property is waterfront to Sassafraz River, located in the Second Election District, and is zoned Critical Area Residential (CAR). The property is located entirely within the Critical Area on lands designated Limited Development Area (LDA) and a portion of the property is within the 100-foot Critical Area Buffer, which has been expanded for steep slopes. The property is currently improved by a principal dwelling unit with wooden decks, a screen porch, and patio; detached garage; gravel driveway and parking area; boat shed and paver walkway to the boat shed; pier; boat ramps and a gravel access road to the boat ramps. The gravel access road, boat shed, paver walkway to the boat shed, a portion of the driveway, and approximately half of the principal dwelling unit are within the expanded Buffer.

This variance request is for the construction of an ADA compliant carport, retaining wall, driveway, and ADA compliant wooden ramp all within the expanded Buffer. These improvements would result in approximately 1,425 square-feet of permanent disturbance within the Buffer and the removal of three trees, one of which is diseased/dying. The application materials also show the removal of the gravel access road in the expanded Buffer.

If this variance were approved, overall lot coverage on the property would increase from approximately 15,222 square-feet to approximately 16,748 square-feet. This proposed lot coverage would still be within the amount allowed for a lot of this size. Based on the application materials, our office understands the applicants' need for the proposed improvements in order to make their property more handicap accessible.

Based on the application materials and conversations with the County regarding permitted structures on this property, our office has the following comments:

1. In order to grant this variance request, the Board of Appeals must find that all variance standards have been met.
2. If the Board grants this variance, the required mitigation ratio for the proposed improvements is 3:1 for all permanent disturbance in the Buffer, an additional 2:1 for live canopy coverage removed, and an additional 100 square feet for the removal of the diseased/dying tree. We recommend mitigation be placed onsite and in the Buffer in order to provide the greatest water quality and habitat benefits.
3. 1,000 square-feet of on-site mitigation is required to satisfy mitigation requirements that have not yet been addressed from a 2009 building permit on this property.

Please include this letter as part of the record for this variance application. Also, pursuant to Natural Resources Article §8-1808(d)(6)(i), please provide our office with a copy of the Board's decision on this variance request. If you have any questions, please feel free to contact me at 410-260-3479 or kathryn.hayden@maryland.gov.

Sincerely,



Kathryn Hayden
Natural Resources Planner

File: KC 0219-24
CC: Nick Kelly, Critical Area Commission
Carla Gerber, Kent County
Mark Carper, Kent County



To: Kent County Board of Appeals
From: Mark Carper, Associate Planner
Meeting: September 23, 2024
Subject: William and Linda Joyce
24-42, Variance – Steep Slope and Expanded Buffer

Executive Summary

Request by Applicant

William and Linda Joyce, owners, are requesting a variance to construct an ADA compliant carport, retaining wall, driveway, and wooden walkway on a slope greater than 15% and in an expanded buffer within the Critical Area.

Public Process

Per Article IX, Section 2 of the Kent County *Land Use Ordinance*, the Kent County Board of Appeals may authorize, upon application, variances from the 15% slope and buffer requirements so as to relieve practical difficulties or other injustices arising out of the strict application of the provisions of this Ordinance.

Summary of Staff Report

The 2.81-acre property is located at 29349 Glencoe Road, Kennedyville, in the Second Election District and is zoned Critical Area Residential (CAR).

According to the applicant, the practical difficulty is caused by existing steep slopes in the location that the applicants consider the most suitable for providing safe access to the dwelling while limiting environmental impact.

Staff Recommendation

Staff recommends approval of the variance to construct an ADA compliant carport, retaining wall, driveway, and wooden walkway on a slope greater than 15% and in an expanded buffer within the Critical Area.

PRELIMINARY STAFF REPORT

TO: Kent County Board of Appeals
FROM: Mark Carper, Associate Planner
SUBJECT: William and Linda Joyce
24-42, Variance – Steep Slope and Expanded Buffer
DATE: September 9, 2024

Description of Proposal

William and Linda Joyce, owners, are requesting a variance to construct an ADA compliant carport, retaining wall, driveway, and wooden walkway on a slope greater than 15% and in an expanded buffer within the Critical Area. An existing stone drive leading to a boat ramp is to be removed. The 2.81-acre property is located at 29349 Glencoe Road, Kennedyville, in the Second Election District and is zoned Critical Area Residential (CAR).

According to the applicant, the practical difficulty is caused by existing steep slopes in the location that the applicants consider the most suitable for providing safe access to the dwelling while limiting environmental impact.

Relevant Issues

I. Steep Slopes and Buffer Requirements

- A. *Applicable Law:* The Kent County Land Use Ordinance, Article V, Section 5.B.10 establishes that development on slopes greater than 15%, as measured before development, shall be prohibited unless the project is the only effective way to maintain or improve the stability of the land.

Article V, Section 5.B.3.a establishes that development activities, including structures, roads, parking areas, and other impervious surfaces, mining, and related activities, or septic systems shall not be permitted within the minimum 100-foot buffer.

B. *Staff and TAC Comments:*

- The applicants are requesting a variance to construct an ADA compliant carport, retaining wall, driveway, and wooden walkway on a slope greater than 15% and in an expanded buffer within the Critical Area, all comprising 1,425 square feet.
- The mitigation requirement for a variance is 3:1 for a total of 4,275 square feet of Maryland native plantings to be installed within the buffer.
- Removal of 267 square feet of vegetation and one diseased tree within the buffer requires 634 square feet of Maryland native plantings within the buffer.
- A total of 4,909 square feet of Maryland native plantings is to be installed within the buffer
- Removal of 1,000 square feet outside of the buffer from an earlier permit is to be mitigated with the installation of 1,000 square feet of Maryland native plantings outside of the buffer.
- An existing stone drive to a long-existing boat ramp is to be removed. No mitigation is required.

II. Variance

- A. *Applicable Law:* Article IX, Section 2.2 of the Kent County Land Use Ordinance authorizes the Board of Appeals to grant variances from the yard (front, side, or rear), height, bulk, parking, loading, shoreline cliff, 15% slope, pier length, impervious surface, stream protection corridor, and buffer requirements so as to relieve practical difficulties or other injustices arising out of the strict application of the provisions of this Ordinance.

In the Critical Area, for a variance of 15% slope, impervious surface, or buffer requirements, it being the purpose of this provision to authorize the granting of variation only for reasons of demonstrable and exceptional unwarranted hardship as distinguished from variations sought by applicants for purposes or reasons of convenience, profit, or caprice.

In order to grant a variance, the Board of Appeals must find all of the following:

- a. That the variance will not cause a substantial detriment to adjacent or neighboring property.
- b. That the variance will not change the character of the neighborhood or district.
- c. That the variance is consistent with the Comprehensive Plan and the general intent of this Ordinance.
- d. That the practical difficulty or other injustice was caused by the following:
 - i. Some unusual characteristic of size or shape of the property.
 - ii. Extraordinary topographical or other condition of the property.
 - iii. The use or development of property immediately adjacent to the property, except that this criterion shall not apply in the Critical Area.
- e. That the practical difficulty or other injustice was not caused by the applicant's own actions.
- f. That within the Critical Area for variances of 15% slope, impervious surface, or buffer requirements:
 - i. The granting of a variance will be in harmony with the general spirit and intent of the Critical Area Law and the regulations adopted by Kent County
 - ii. That the granting of a variance will not adversely affect water quality or adversely impact fish, wildlife, or plant habitat.
 - iii. That the application for a variance will be made in writing with a copy provided to the Critical Area Commission.
 - iv. That the strict application of the Ordinance would produce an unwarranted hardship.
 - v. Such hardship is not shared generally by other properties in the same zoning district and the same vicinity.
 - vi. The authorization of such variance will not be a substantial detriment to adjacent property and that the character of the district will not be changed by the granting of the variance.
 - vii. That a literal interpretation of this Ordinance deprives the applicant of rights commonly enjoyed by other properties in similar areas within the Critical Area of Kent County.
 - viii. That the granting of a variance will not confer upon an applicant any special privilege that would be denied by this Ordinance to other lands or structures.
 - ix. Due to special features of a site, or special conditions or circumstances peculiar to the applicant's land or structure, a literal enforcement of this Ordinance would result in unwarranted hardship to the applicant.
 - x. The Board of Appeals finds that the applicant has satisfied each one of the variance provisions.
 - xi. Without the variance, the applicant would be deprived of a use of land or a structure permitted to others in accordance with the provisions of the critical area program
- g. In considering an application for a variance, the Board shall consider the reasonable use of the entire parcel or lot for which the variance is requested.
- h. In considering an application for a variance, the Board of Appeals shall presume that the specific development activity in the Critical Area that is subject to the application and for which a variance is required does not conform with the general purpose and intent of this Ordinance and the Critical Area Law.
- i. The Board may consider the cause of the variance request and if the variance request is the result of actions by the applicant, including the commencement of development activity before an application for a variance has been filed.

B. *Staff and TAC Comments:*

- The Kent County Health Department has no objections to the application.
- No known detriment to adjacent or neighboring properties or change in the character of the neighborhood will be caused by the proposed variance.
- The proposed is consistent with the Comprehensive Plan.
- The practical difficulty, not caused by the applicants, is created by the steep slopes around the main house, including the ravine on the east side of the property causing the buffer expansion.
- No known adverse impact to water quality, fish, wildlife, or plant habitat will be caused by the proposed variance.
- The application has been reviewed by the Critical Area Commission, and they have provided comments.
- The proposed variance would provide for continued, safe, and ADA accessible use of the property, and the strict application of the ordinance would produce an unwarranted hardship.
- The hardship is not known to be shared by other properties within the vicinity or as a common feature in the zoning district.
- The literal interpretation of the ordinance would deprive the applicants of the rights commonly enjoyed by other properties in similar areas within the Critical Area of Kent County.
- The variance would not confer upon the applicants any special privilege that would be denied to other lands or structures.

Staff Recommendation

Staff recommends approval of the variance to construct an ADA compliant carport, retaining wall, driveway, and wooden walkway on a slope greater than 15% and in an expanded buffer within the Critical Area.

HANDICAP ACCESSIBLE CARPORT

For Bill and Linda Joyce

PERMIT SET
VARIANCE APPLICATION

29349 Glencoe Rd
 Kennedyville, MD 21645
 Map 6 Grid 2D Parcel 10
 Election District 02
 2.818 Acres

AUGUST 1, 2024
 REV SEPTEMBER 9, 2024

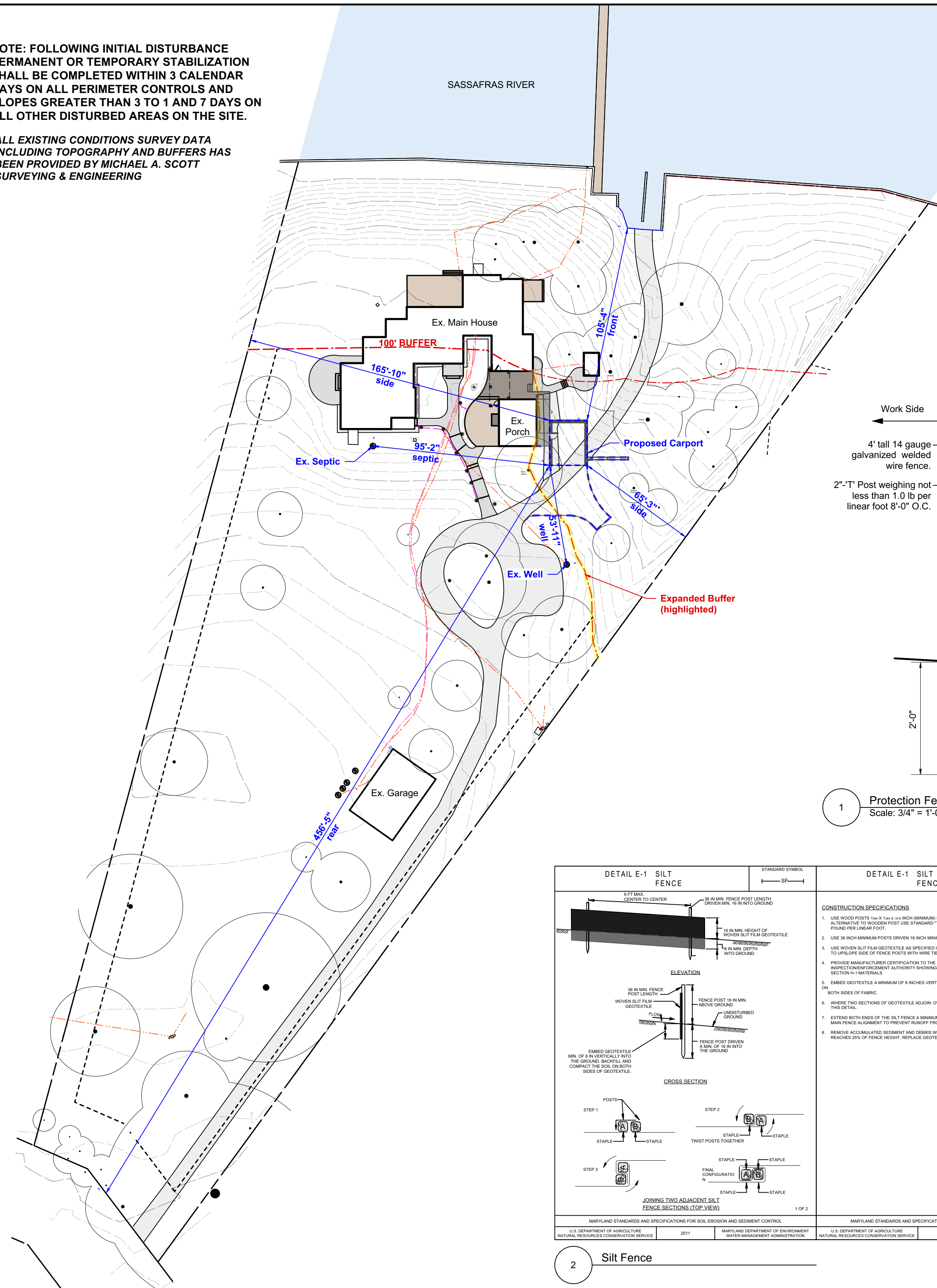
- L0.0 TITLE SHEET / EXISTING CONDITIONS / DEMO/ SEC
- L0.2 SITE ANALYSIS
- L1.0 PAVING REMOVAL AND RETENTION
- L1.1 PROPOSED CARPORT PLAN
- L1.2 TREE REMOVAL & BUFFER MANAGEMENT PLAN

LEGEND

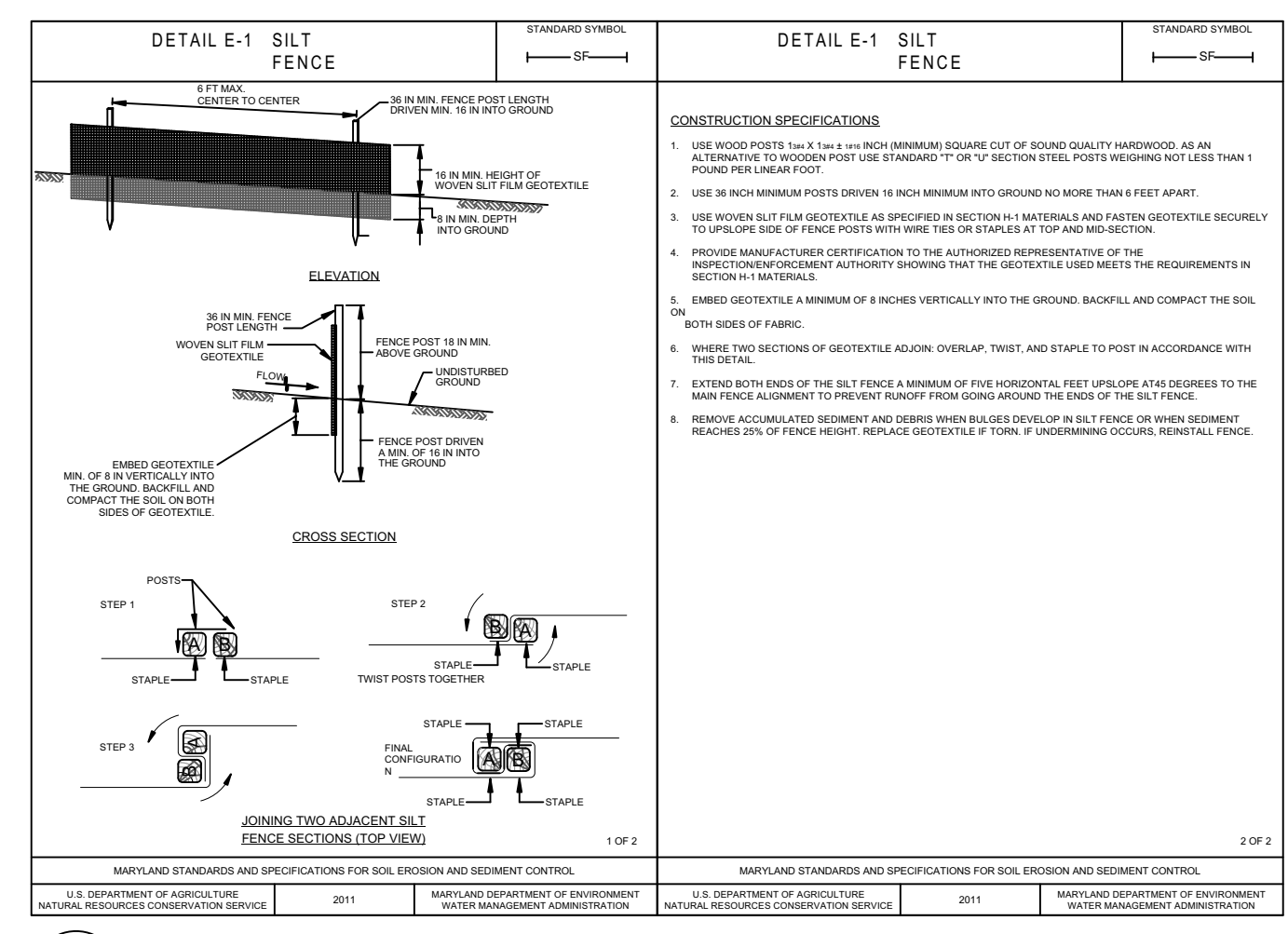
- Ex. Tree to remain
- Ex. Tree to be removed
- Proposed Tree
- LOD + Silt Fence (SF) $\frac{2}{LO.1}$
- Protection Fence (PF) $\frac{1}{LO.1}$
- Limit of Disturbance (LOD)
- Area To Be Removed
- Existing 1' Contour
- Existing 6" Contour
- Existing Spot Elevation
- Proposed 1' Contour
- Proposed 6" Contour
- Proposed Spot Elevation
- Sleeve
- PVC Drainline
- Property Line
- Flood Zones
- Telephone
- Water
- Electric
- Propane
- Sewer

NOTE: FOLLOWING INITIAL DISTURBANCE PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN 3 CALENDAR DAYS ON ALL PERIMETER CONTROLS AND SLOPES GREATER THAN 3 TO 1 AND 7 DAYS ON ALL OTHER DISTURBED AREAS ON THE SITE.

ALL EXISTING CONDITIONS SURVEY DATA INCLUDING TOPOGRAPHY AND BUFFERS HAS BEEN PROVIDED BY MICHAEL A. SCOTT SURVEYING & ENGINEERING



1 Protection Fence
 Scale: 3/4" = 1'-0"



2 Silt Fence

NOT FOR CONSTRUCTION

REVISIONS	
07-03-24	PERMIT
08-01-24	Variance Application
08-29-24	Planning Commission
09-09-24	Board of Appeals

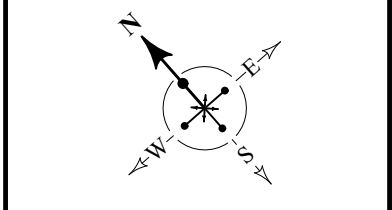
ISSUED FOR:

<input type="checkbox"/> Client Review	<input type="checkbox"/> Revision
<input type="checkbox"/> Bid	<input type="checkbox"/> Coordination
<input checked="" type="checkbox"/> Permit	
<input type="checkbox"/> Construction	

These drawings and specifications and the ideas represented thereby are and shall remain the property of the Landscape Architect. No part thereof shall be copied or used in connection with any work or project or by any other person for any purpose other than for the specific project for which they have been prepared and developed without the written consent of the Landscape Architect.

Joyce Residence

29349 Glencoe Rd
 Kennedyville, MD



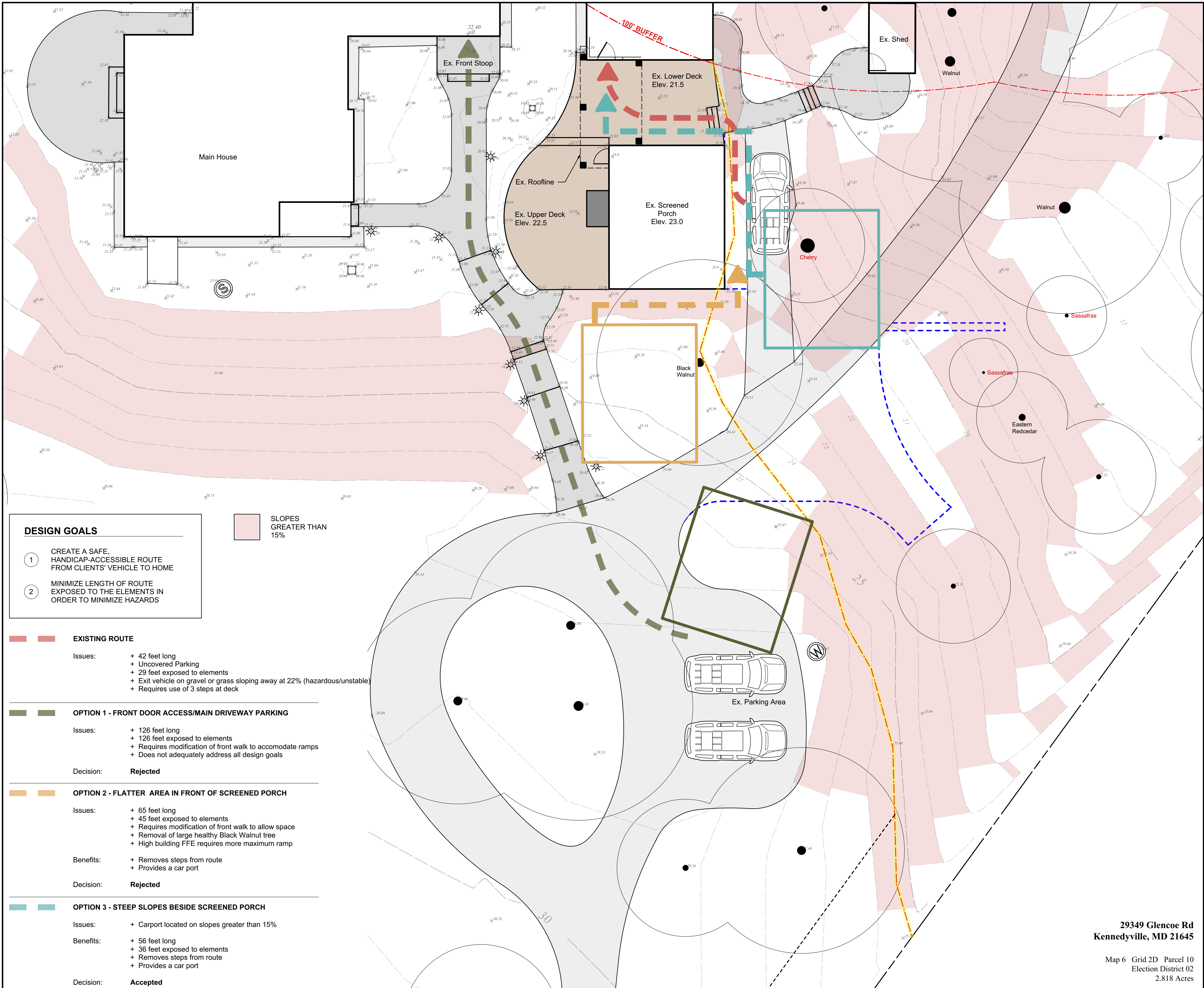
Contractors to Verify Dimensions on Site
 Do Not Scale the Drawing

Existing Conditions

Scale : 1" = 40'-0"
 Drawn by : DMB

L0.1

1st Issue Date 07-03-24



DESIGN GOALS

- 1 CREATE A SAFE, HANDICAP-ACCESSIBLE ROUTE FROM CLIENTS' VEHICLE TO HOME
- 2 MINIMIZE LENGTH OF ROUTE EXPOSED TO THE ELEMENTS IN ORDER TO MINIMIZE HAZARDS

SLOPES GREATER THAN 15%

- EXISTING ROUTE**
- Issues:
- + 42 feet long
 - + Uncovered Parking
 - + 29 feet exposed to elements
 - + Exit vehicle on gravel or grass sloping away at 22% (hazardous/unstable)
 - + Requires use of 3 steps at deck
-
- OPTION 1 - FRONT DOOR ACCESS/MAIN DRIVEWAY PARKING**
- Issues:
- + 126 feet long
 - + 126 feet exposed to elements
 - + Requires modification of front walk to accommodate ramps
 - + Does not adequately address all design goals
- Decision: **Rejected**
-
- OPTION 2 - FLATTER AREA IN FRONT OF SCREENED PORCH**
- Issues:
- + 65 feet long
 - + 45 feet exposed to elements
 - + Requires modification of front walk to allow space
 - + Removal of large healthy Black Walnut tree
 - + High building FFE requires more maximum ramp
- Benefits:
- + Removes steps from route
 - + Provides a car port
- Decision: **Rejected**
-
- OPTION 3 - STEEP SLOPES BESIDE SCREENED PORCH**
- Issues:
- + Carport located on slopes greater than 15%
- Benefits:
- + 56 feet long
 - + 36 feet exposed to elements
 - + Removes steps from route
 - + Provides a car port
- Decision: **Accepted**

NOT FOR CONSTRUCTION

REVISIONS

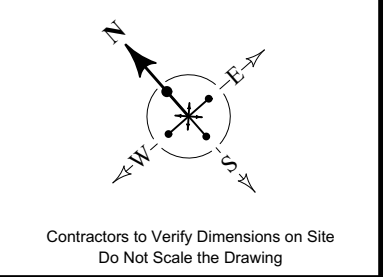
08-01-24	Variance Application
08-29-24	Planning Commission
09-09-24	Board of Appeals

- ISSUED FOR:**
- Client Review
 - Revision
 - Bid
 - Coordination
 - Permit
 - Construction

These drawings and specifications and the ideas represented thereby are and shall remain the property of the Landscape Architect. No part thereof shall be copied or used in connection with any work or project or by any other person for any purpose other than for the specific project for which they have been prepared and developed without the written consent of the Landscape Architect.

Joyce Residence

29349 Glencoe Rd
 Kennedyville, MD



Site Analysis

Scale : 1" = 10'-0"
 Drawn by : DMB

L0.2
 1st Issue Date | 07-26-24

29349 Glencoe Rd
Kennedyville, MD 21645
 Map 6 Grid 2D Parcel 10
 Election District 02
 2.818 Acres

NOT FOR CONSTRUCTION

REVISIONS

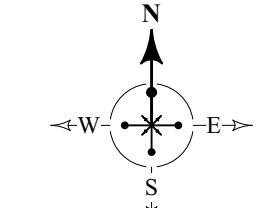
08-29-24	Planning Commission
09-09-24	Board of Appeals

- ISSUED FOR:
- Client Review
 - Bid
 - Permit
 - Construction
 - Revision
 - Coordination

These drawings and specifications and the ideas represented thereby are and shall remain the property of the Landscape Architect. No part thereof shall be copied or used in connection with any work or project or by any other person for any purpose other than for the specific project for which they have been prepared and developed without the written consent of the Landscape Architect.

Joyce Residence

29349 Glencoe Rd
 Kennedyville, MD



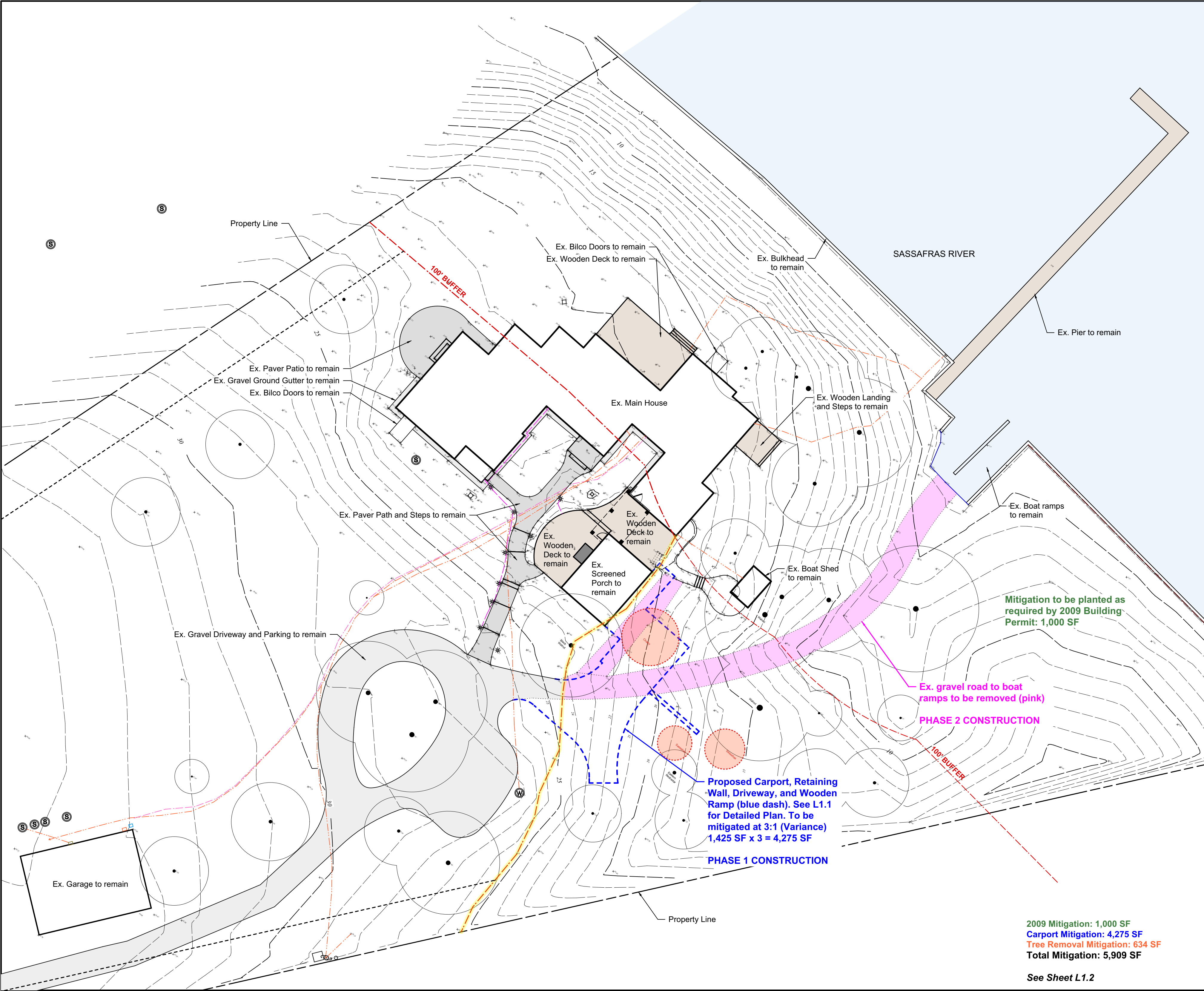
Contractors to Verify Dimensions on Site
 Do Not Scale the Drawing

Paving Removal and Retention

Scale : 1" = 20'-0"
 Drawn by : DMB

L1.0

1st Issue Date 08-29-24



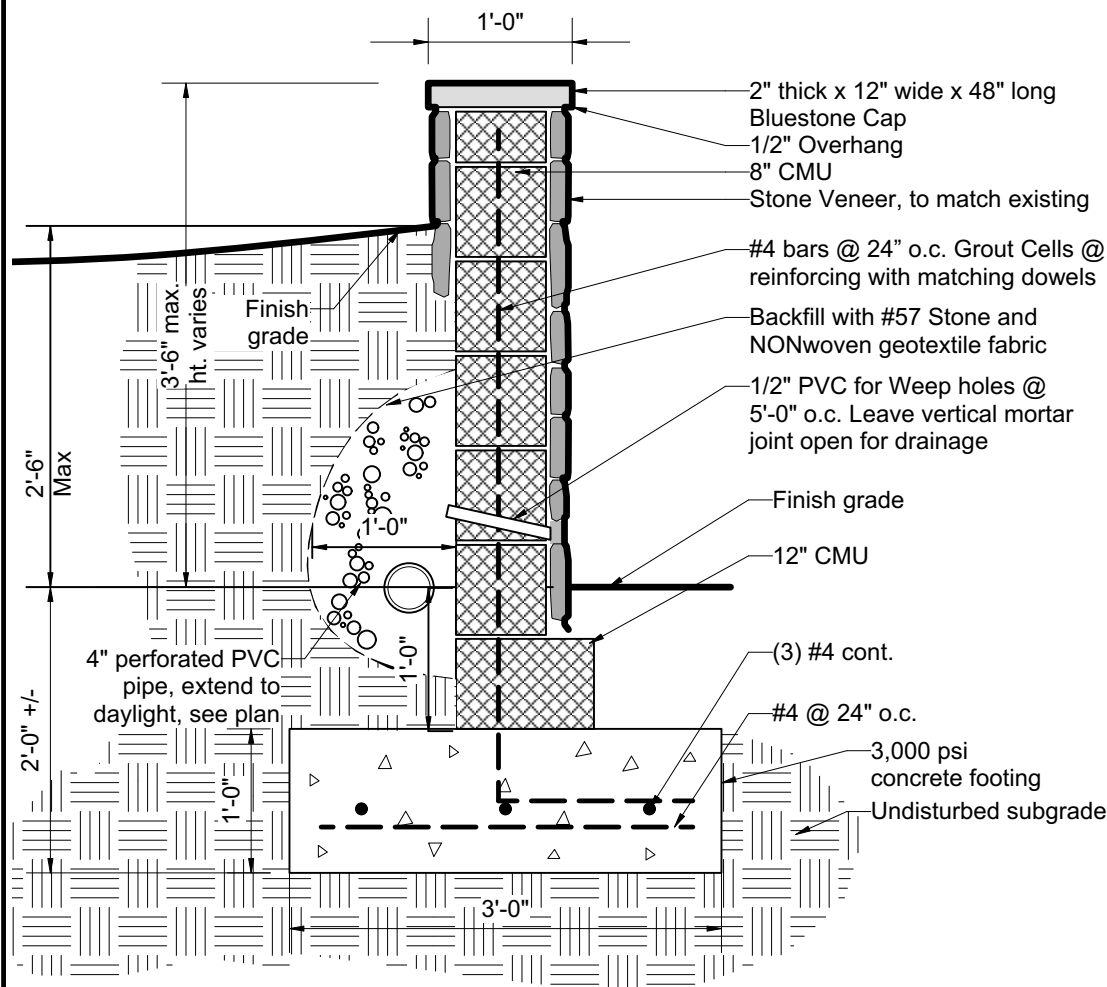
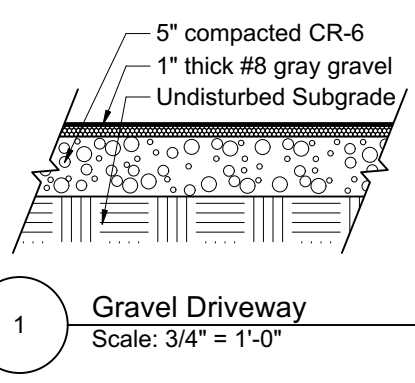
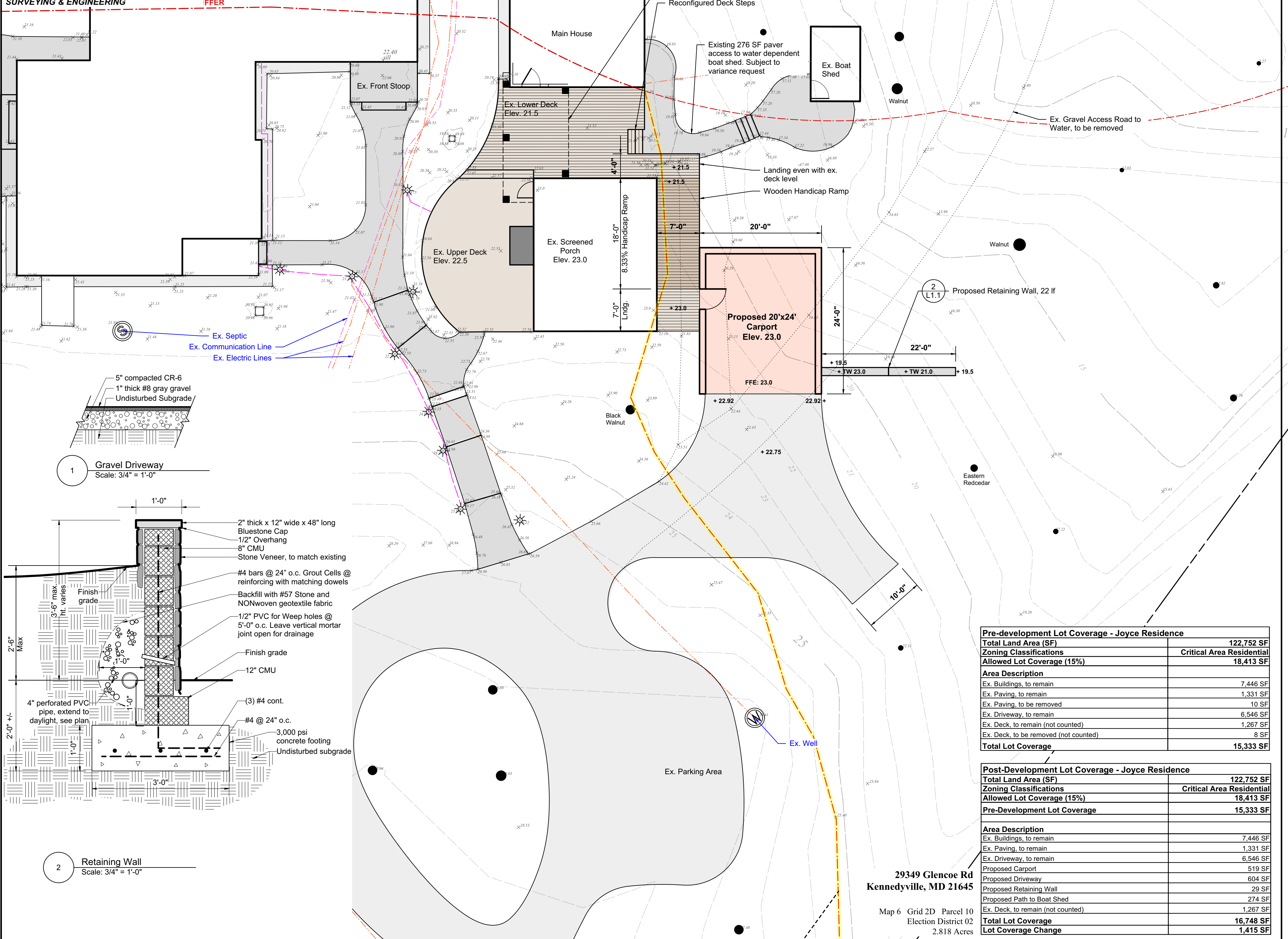
2009 Mitigation: 1,000 SF
Carpport Mitigation: 4,275 SF
Tree Removal Mitigation: 634 SF
Total Mitigation: 5,909 SF

See Sheet L1.2

NOTE: FOLLOWING INITIAL DISTURBANCE PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN 3 CALENDAR DAYS ON ALL PERIMETER CONTROLS AND SLOPES GREATER THAN 3 TO 1 AND 7 DAYS ON ALL OTHER DISTURBED AREAS ON THE SITE.

ALL EXISTING CONDITIONS SURVEY DATA INCLUDING TOPOGRAPHY AND BUFFERS HAS BEEN PROVIDED BY MICHAEL A. SCOTT SURVEYING & ENGINEERING

NOTE: TREE REMOVALS AND MITIGATION ON L1.2



Pre-development Lot Coverage - Joyce Residence	
Total Land Area (SF)	122,752 SF
Zoning Classifications	Critical Area Residential
Allowed Lot Coverage (15%)	18,413 SF
Area Description	
Ex. Buildings, to remain	7,446 SF
Ex. Paving, to remain	1,331 SF
Ex. Paving, to be removed	10 SF
Ex. Driveway, to remain	6,546 SF
Ex. Deck, to remain (not counted)	1,267 SF
Ex. Deck, to be removed (not counted)	8 SF
Total Lot Coverage	15,333 SF

Post-Development Lot Coverage - Joyce Residence	
Total Land Area (SF)	122,752 SF
Zoning Classifications	Critical Area Residential
Allowed Lot Coverage (15%)	18,413 SF
Pre-Development Lot Coverage	
15,333 SF	
Area Description	
Ex. Buildings, to remain	7,446 SF
Ex. Paving, to remain	1,331 SF
Ex. Driveway, to remain	6,546 SF
Proposed Carport	519 SF
Proposed Driveway	604 SF
Proposed Retaining Wall	29 SF
Proposed Path to Boat Shed	274 SF
Ex. Deck, to remain (not counted)	1,267 SF
Total Lot Coverage	16,748 SF
Lot Coverage Change	1,415 SF

29349 Glencoe Rd
Kennedyville, MD 21645
Map 6 Grid 2D Parcel 10
Election District 02
2.818 Acres

NOT FOR CONSTRUCTION

REVISIONS	
07-03-24	PERMIT
08-01-24	Variance Application
08-19-24	Buffer/Road Revisions
08-29-24	Planning Commission
09-09-24	Board of Appeals

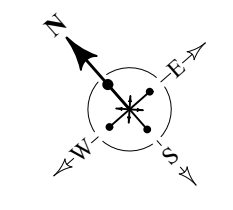
ISSUED FOR:

<input type="checkbox"/> Client Review	<input checked="" type="checkbox"/> Revision
<input type="checkbox"/> Bid	<input type="checkbox"/> Coordination
<input checked="" type="checkbox"/> Permit	
<input type="checkbox"/> Construction	

These drawings and specifications and the ideas represented thereby are and shall remain the property of the Landscape Architect. No part thereof shall be copied or used in connection with any work or project or by any other person for any purpose other than for the specific project for which they have been prepared and developed without the written consent of the Landscape Architect.

Joyce Residence

29349 Glencoe Rd
Kennedyville, MD



Contractors to Verify Dimensions on Site
Do Not Scale the Drawing

Proposed Carport

Scale : 1" = 10'-0"
Drawn by : DMB

L1.1

1st Issue Date 07-03-24

Pre-development Lot Coverage - Joyce Residence	
Total Land Area (SF)	122,752 SF
Zoning Classifications	Critical Area Residential
Allowed Lot Coverage (15%)	18,413 SF
Area Description	
Ex. Buildings, to remain	7,446 SF
Ex. Paving, to remain	1,331 SF
Ex. Paving, to be removed	10 SF
Ex. Driveway, to remain	6,546 SF
Ex. Deck, to remain (not counted)	1,267 SF
Ex. Deck, to be removed (not counted)	8 SF
Total Lot Coverage	15,333 SF

Post-Development Lot Coverage - Joyce Residence	
Total Land Area (SF)	122,752 SF
Zoning Classifications	Critical Area Residential
Allowed Lot Coverage (15%)	18,413 SF
Pre-Development Lot Coverage	15,333 SF
Area Description	
Ex. Buildings, to remain	7,446 SF
Ex. Paving, to remain	1,331 SF
Ex. Driveway, to remain	6,546 SF
Proposed Carport	519 SF
Proposed Driveway	604 SF
Proposed Retaining Wall	29 SF
Proposed Path to Boat Shed	274 SF
Ex. Deck, to remain (not counted)	1,267 SF
Total Lot Coverage	16,748 SF
Lot Coverage Change	1,415 SF

Critical Area Forest Clearing Calculations			
Total Land Area (SF)			122,752 SF
Removal Calculations			
Live Canopy removed under 2009 Permit (mitigation per SF)	Outside Buffer		1,000 SF
Live Tree Canopy, to be removed (mitigation per SF) 2:1	Inside Buffer		534 SF
Diseased / Dying / Hazardous Trees, to be removed (mitigation 100 sf / tree)	Inside Buffer		100 SF
Total Mitigation	TOTAL		1,634 SF

Proposed Mitigation Plantings			
Planting Cluster 1 (1-1" cal. tree + 3 shrubs)	0 @ 300 SF per cluster		0 SF
Planting Cluster 2 (2-1" Understry tree + 3 shrubs) - Out of Buffer	3 @ 350 SF per cluster		1,050 SF
Planting Cluster 2 (2-1" Understry tree + 3 shrubs) - In Buffer	1 @ 350 SF per cluster		350 SF
2" Canopy Trees	1 @ 200 SF per new tree		200 SF
1 gal. Shrubs (max. 30%)	1 @ 50 SF per shrub		50 SF
1 qt. Peren. (max. 10%)	0 @ 2 SF per plant		0 SF
Total Forest Clearing Mitigation Plantings (SF)			1,650 SF

Total 2" Trees	1
Total 1" Canopy Trees	0
Total 1" Understory Trees	8
Total 1 gal. shrubs	13
Total 1 qt. Perennials	0

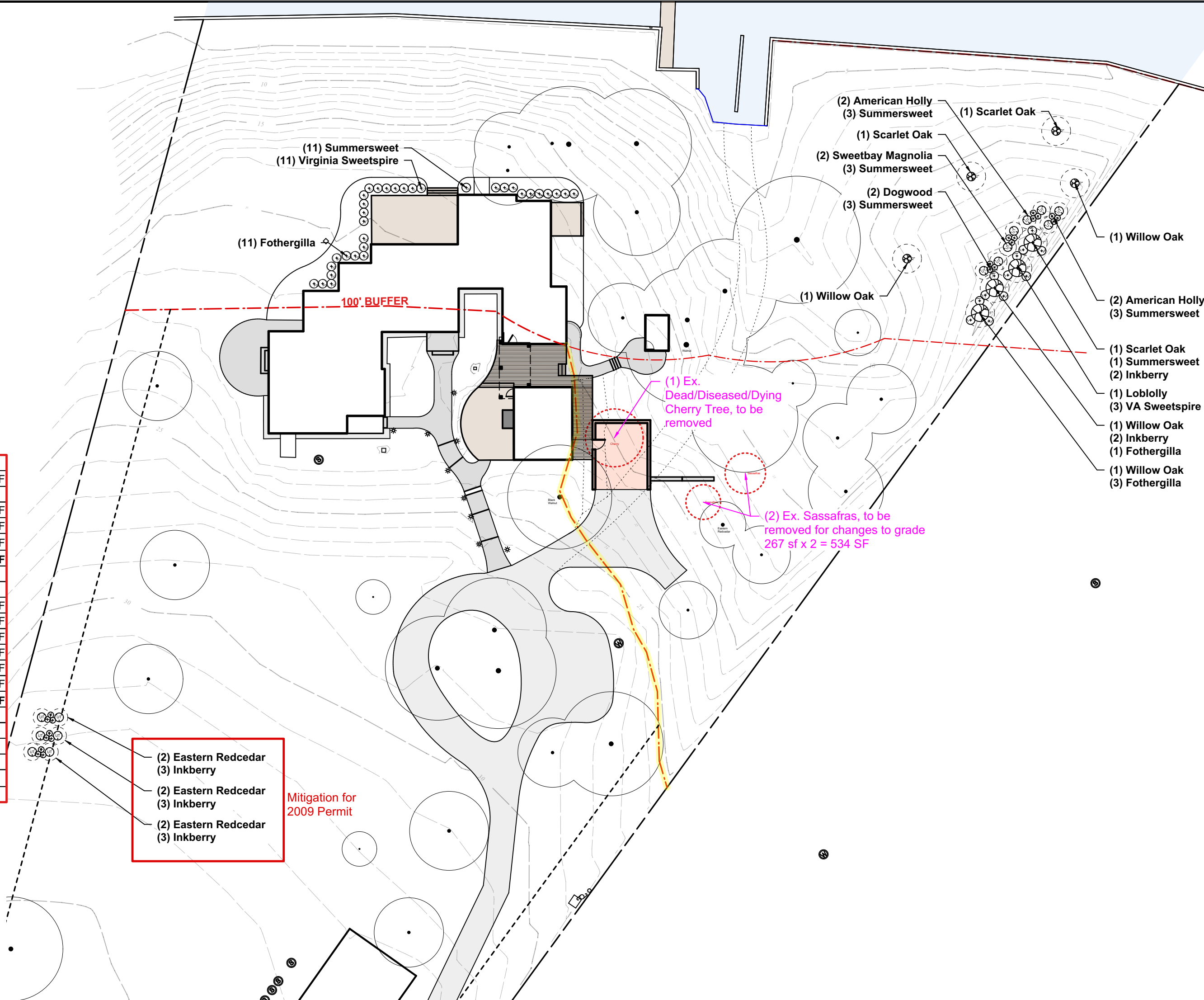
Critical Area Variance Mitigation			
Pre-Development Lot Coverage			15,333 SF
Post-Development Lot Coverage			16,748 SF
2009 Vegetation Removal to be Mitigated (1:1)	see Forest Clearing above		-- SF
Variance (Buffer Disturbance) to be Mitigated (3:1)			4,275 SF
Total Mitigation			4,275 SF

Proposed Mitigation Plantings Inside Buffer			
Planting Cluster 1 (1-1" cal. tree + 3 shrubs)	4 @ 300 SF per cluster		1200 SF
Planting Cluster 2 (2-1" Understry tree + 3 shrubs)	2 @ 350 SF per cluster		700 SF
2" Trees	3 @ 200 SF per new tree (2" Cal.)		600 SF
1 gal. Shrubs (max. 30%)	36 @ 50 SF per shrub		1,800 SF
1 qt. Peren. (max. 10%)	0 @ 2 SF per plant		0 SF
Total Buffer Mitigation Plantings (SF)			4,300 SF

Total 2" Trees	3
Total 1" Canopy Trees	4
Total 1" Understory Trees	4
Total 1 gal. shrubs	54
Total 1 qt. Perennials	0

Critical Area Variance Mitigation Plant List				
Key	Qty	Botanical / Common Names	Size	Root
Canopy Trees				
PT	1	Pinus taeda / Loblolly Pine	1" cal.	B&B
QC	1	Quercus coccinea / Scarlet Oak	1" cal.	B&B
QC	2	Quercus coccinea / Scarlet Oak	2" cal.	B&B
QP	1	Quercus phellos / Willow Oak	2" cal.	B&B
QP	2	Quercus phellos / Willow Oak	1" cal.	B&B
	7	Total Canopy Trees		
Understory Trees				
IO	4	Ilex opaca / American Holly	4' tall	B&B
	4	Total Understory Trees		
Shrubs				
CA	20	Clethra alnifolia / Summersweet	36" Ht.	cont
FG	15	Fothergilla gardenii / Dwarf Fothergilla	36" Ht.	cont
IG	4	Ilex glabra / Inkberry	36" Ht.	cont
IV	15	Itea virginica / Virginia Sweetspire	36" Ht.	cont
	54	Total Shrubs		

Critical Area Forest Clearing Mitigation Plant List				
Key	Qty	Botanical / Common Names	Size	Root
Canopy Trees				
QP	1	Quercus phellos / Willow Oak	2" cal.	B&B
	1	Total Understory Trees		
Understory Trees				
MV	2	Magnolia virginiana / Sweetbay Magnolia	1" cal	B&B
JV	6	Juniperus virginiana / Eastern Redcedar	4' Ht.	B&B
	8	Total Understory Trees		
Shrubs				
IG	10	Ilex glabra / Inkberry Holly	24" Ht.	Cont
CA	3	Clethra alnifolia / Summersweet	24" Ht.	cont
	13	Total Shrubs		



NOT FOR CONSTRUCTION

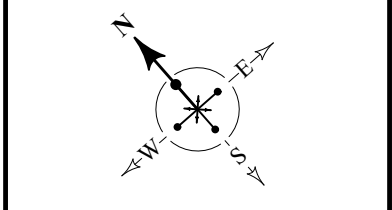
REVISIONS	
07-03-24	PERMIT
08-01-24	Variance Application
08-29-24	Planning Commission
09-09-24	Board of Appeals

ISSUED FOR:	
<input type="checkbox"/> Client Review	<input type="checkbox"/> Revision
<input type="checkbox"/> Bid	<input type="checkbox"/> Coordination
<input checked="" type="checkbox"/> Permit	
<input type="checkbox"/> Construction	

These drawings and specifications and the ideas represented thereby are and shall remain the property of the Landscape Architect. No part thereof shall be copied or used in connection with any work or project or by any other person for any purpose other than for the specific project for which they have been prepared and developed without the written consent of the Landscape Architect.

Joyce Residence

29349 Glencoe Rd
Kennedyville, MD



Contractors to Verify Dimensions on Site
Do Not Scale the Drawing

Tree Removal and BMP

ALL EXISTING CONDITIONS SURVEY DATA INCLUDING TOPOGRAPHY AND BUFFERS HAS BEEN PROVIDED BY MICHAEL A. SCOTT SURVEYING & ENGINEERING

29349 Glencoe Rd
Kennedyville, MD 21645

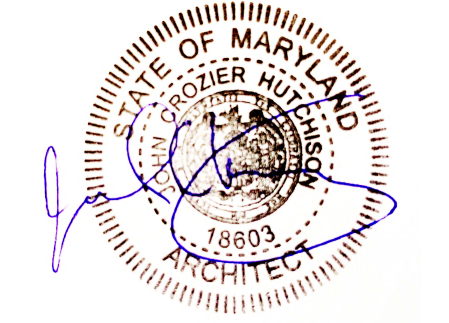
Map 6 Grid 2D Parcel 10
Election District 02
2,818 Acres

Scale : 1" = 30'-0"
Drawn by : DMB

L1.2

1st Issue Date 07-03-24

Note: Drawings are not authorized for Permit or Construction unless affixed with a Professional Seal and Signature of the Architect below. Drawings authorized for Construction must also be stamped "Issued for Construction" above the Sheet Title below. Drawings stamped "Preliminary" or "For Permit Only" are not authorized for Construction.



Professional Certification: I certify that these documents were prepared or approved by me, and that I am a duly Licensed Architect under the Laws of the State of Maryland, License Number 18603, Expiration Date 6/14/2026.

Drawings and Specifications as instruments of service are and shall remain the property of the Architect. They are not to be used on extensions of the project, or other projects, except by agreement in writing and appropriate compensation to the Architect.

The General Contractor is responsible for confirming and correlating dimensions at the job site. The Architect will not be responsible for construction means, methods, techniques, sequences, or procedures, or for safety precautions and programs in connection with the project.

© John Hutchison Architecture

Project Number: JHA 23-018
Joyce Sassafra River New (Wheelchair Accessible) Carport Entry Addition
 29349 Glencoe Road
 Kennedyville, MD 21645
 Kent County
 for
 Bill & Linda Joyce

REVISIONS

ID	Change Name	Date
02	Permit Document Submission	7/9/24
03	Variance Submission	8/1/24

Note: 3D Images are shown for reference only and shall not be used for Actual Construction.
 Note: Full Size drawings are typically printed on 22x34 or 24x36 paper. If printed on 11x17 or 13x19 paper, it is likely the drawings are printed using a 50% reduction. Please verify scale of all drawings.

PRELIMINARY FOR PERMITTING ONLY NOT FOR CONSTRUCTION

Variance Submission
 8/1/24
 Printed: 8/2/24

3D Views Car Port - Proposed

A

9.02



1
9.02
Camera 1 - Demo



2
9.02
Camera 2 - Demo

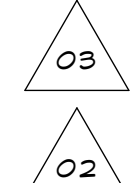


1
9.02
Camera 1 - Proposed

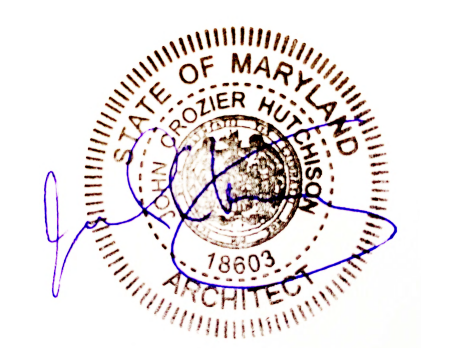


2
9.02
Camera 2 - Proposed

*Refer Landscape Architect drawings for new grading



Note: Drawings are not authorized for Permit or Construction unless affixed with a Professional Seal and Signature of the Architect below. Drawings authorized for Construction must also be stamped "Issued for Construction" above the Sheet Title below. Drawings stamped "Preliminary" or "For Permit Only" are not authorized for Construction.



Professional Certification: I certify that these documents were prepared or approved by me, and that I am a duly Licensed Architect under the Laws of the State of Maryland, License Number 18603, Expiration Date 6/14/2026.

Drawings and Specifications as instruments of service are and shall remain the property of the Architect. They are not to be used on extensions of the project, or other projects, except by agreement in writing and appropriate compensation to the Architect.

The General Contractor is responsible for confirming and correlating dimensions at the job site. The Architect will not be responsible for construction means, methods, techniques, sequences, or procedures, or for safety precautions and programs in connection with the project.

© John Hutchison Architecture

Project Number: JHA 23-018
Joyce Sassafra River New (Wheelchair Accessible) Carport Entry Addition
 29349 Glencoe Road
 Kennedyville, MD 21645
 Kent County
 for
 Bill & Linda Joyce

REVISIONS

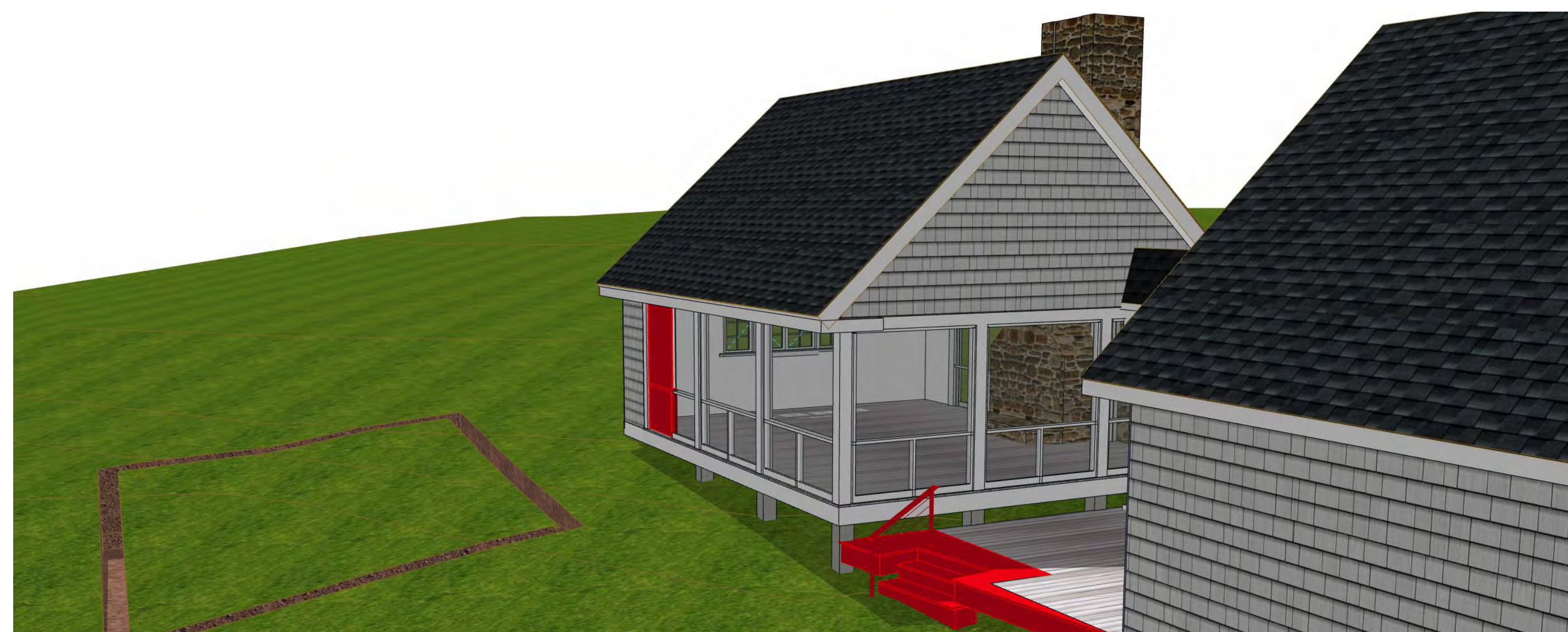
ID	Change Name	Date
02	Permit Document Submission	7/9/24
03	Variance Submission	8/1/24

Note: 3D Images are shown for reference only and shall not be used for Actual Construction.
 Note: Full Size drawings are typically printed on 22x34 or 24x36 paper, if printed on 11x17 or 13x19 paper, it is likely the drawings are printed using a 50% reduction. Please verify scale of all drawings.

PRELIMINARY FOR PERMITTING ONLY NOT FOR CONSTRUCTION
 Variance Submission
 8/1/24
 Printed: 8/2/24

3D Views Car Port - Proposed
A

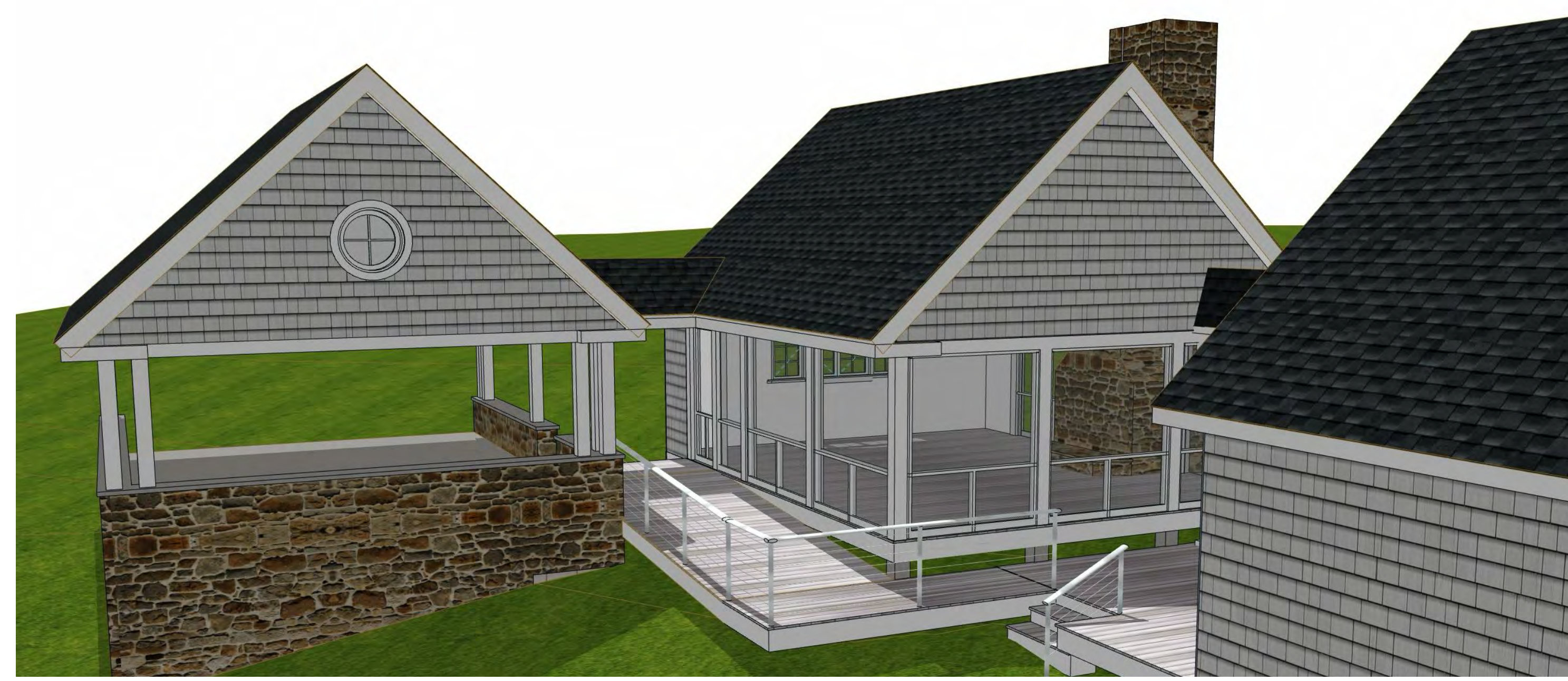
9.03



3
 9.03 Camera 3 - Demo



4
 9.03 Camera 4 - Demo



3
 9.03 Camera 3 - Proposed



4
 9.03 Camera 4 - Proposed

*Refer Landscape Architect drawings for new grading

