



COUNTY COMMISSIONERS HEARING ROOM
400 HIGH STREET
CHESTERTOWN, MARYLAND

AGENDA

Thursday, November 7, 2024
1:30 p.m.

MINUTES

October 3, 2024

PUBLIC HEARING

24-57 Wicomico Hunt Club, Inc. – Zoning Text Amendment Rec to CCs
Adding Dog Kennels, Fox Hunting Club as a permitted use on farms in RCD

APPLICATIONS FOR REVIEW

23-68 KNR – Convenience Store/Deli – Major Site Plan (Preliminary) PC Decision
10816 Worton Road, Worton – Third Election District – Zoned Village

24-13 Delmarva Power and Light Co. of MD – Major Site Plan (Final) PC Decision
509 Morgnec Road, Chestertown – Fourth Election District – Zoned Commercial

24-45 Shelia Beth Vanantwerp and Frank Joseph Lamont, Jr. – Variance – Side Setback and Buffer Rec to BOA
29303 Glencoe Road, Kennedyville – Second Election District – Zoned Critical Area Residential

GENERAL DISCUSSION

STAFF REPORTS

ADJOURN

Members of the public are welcome to attend meetings in person or via conference call.

Public participation and audio-only call-in number:

1. Dial **1-872-239-8359**
2. Enter Conference ID: **854 515 071#**

PHONE PARTICIPATION – Members of the public are asked to mute their phones/devices, until the Chair opens the floor for comment. Please note that phone participation is dependent on service carriers and internet providers, this option may not be available for all meetings or be available during the entire meeting. In-person attendance is always recommended.

ONLINE VIEWING – Please note that although many meetings are recorded, the availability of video online is dependent on internet availability and functionality. Some members of the public may be able to watch a live video feed and/or view the video after the meeting at the County’s YouTube channel at <https://www.youtube.com/@kentcountygovernment2757>.

PROTOCOL – Meetings are conducted in open session unless otherwise indicated. All or part of the meetings can be held in closed session under the authority of the MD Open Meetings Law by vote of the members. Breaks are at the call of the Chair. Meetings are subject to audio and video recordings. All applicants will be given the time necessary to assure full public participation and a fair and complete review of all projects. Agenda items are subject to change due to cancellations.





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Planning Commission
Department of Planning, Housing, and Zoning

MINUTES

October 3, 2024

1:30 p.m.

Video recordings of the Kent County Planning Commission meeting are available online for viewing on the County's YouTube channel at <https://www.youtube.com/@kentcountygovernment2757>.

The Planning Commission met in regular session on Thursday, October 3, 2024, in the County Commissioners' Hearing Room at 400 High Street, Chestertown, Maryland. Members of the public were invited to attend in person or via conference call.

The following members were in attendance: Chair Joe Hickman, Jim Saunders, Ray Strong, Sean Jones, Paula Reeder, and William Crowding. Vice Chair Paul Ruge telephoned in advance to indicate that he could not attend.

Acting Planning Commission Attorney Thomas N. Yeager, Esquire, was present. Staff attending included Bill Mackey, AICP, Director; Carla Gerber, AICP, Deputy Director; Mark Carper, LEED Green Associate, Associate Planner; Beth Grieb, Office Manager, serving as Acting Clerk; and Tyler Arnold, GIS Specialist.

Representatives for Camp Fairlee included Gene Aucott of Easterseals Camp Fairlee; Kevin Shearon, P.E., LEED AP, DMS & Associates; and Miles Barnard, ASLA, RLA, South Fork Studio Landscape Architecture; and John C. Hutchison, AIA, NCARB of John Hutchison Architecture.

Representatives for the Morgnec Solar project included Genevieve H. R. Macfarlane, Esq., Partner with Stevens Palmer, LLC.; Matt McCluskey, Chief Development Officer, Urban Grid; Val Newcomb, Vice President, Economic & Community Development, Urban Grid; Nick Leffner, P.E., Kimley Horn and Associates; and Jake Dixon, Project Manager, Urban Grid; Allison Whickham, Founder, Siller Pollinator Company (remotely); Ellen C. Tusing, P.E., Kimly Horn; Daniel Dotterer, Dotterer Farms and ASGA Board of Directors; and Stormy Neff, Chester River Landscaping / Neff & Son, Inc.

Members of the public who spoke were Jordan Curtice (remotely); Janet Christensen-Lewis, KCPA; A. Elizabeth Watson, FAICP; Thomas and Bonnie Tucker; Annie Richards, Chester Riverkeeper, Shore Rivers; Thomas Kocubinski, RA, AIA, Principal Architect, Kocubinski Architects; and John Lysinger, KCPA. A letter from Judy Gifford was read into the record.

Members of the public who signed in but who did not speak were Elliot Blosch; Jeff Chang; Gabrielle Jennings; Krista Ortiz; Melinda Bookwalter; and Catherine Durham.

Chair Hickman called the meeting to order at 1:30 p.m.

MINUTES

Mr. Saunders moved to approve the minutes of September 5, 2024, as presented. Ms. Reeder seconded. The motion passed unanimously.

APPLICATIONS FOR REVIEW

*24-32 ESSD-M, Inc. -- Camp Fairlee -- Major Site Plan (Concept) -- Replacing Pool and Bathhouse
Map 37, Parcel 40 and 174 -- Intense Village, Community Residential, Rural Residential, Resource Conservation District*

Mr. Carper presented the application for a combined preliminary and final site plan review for replacement of an in-ground swimming pool and bathhouse within the Critical Area. He noted that the proposal is consistent with the

Adopted on [Insert date]

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comprehensive plan, and the property is served by public water and sewer. The project requires approval from the Maryland Historical Trust and the Maryland Department of Health.

Mr. Barnard, Mr. Shearon and Mr. Hutchison presented on behalf of the applicant. They explained that the existing pool is proposed to be redone, and a replacement pool and bathhouse have been designed. They have received approval from the Kent Soil Conservation District and are finalizing stormwater management review.

The Planning Commission discussed the lighting for the bathhouse, Maryland Historical Trust approval, and erosion and sediment control plans.

There were no members of the public who wished to speak either online or in the hearing room.

Mr. Crowding moved to grant preliminary and final approval for Camp Fairlee ESSD-M, Inc., for a pool and bath house replacement on their property, subject to receiving a final erosion and sediment control and stormwater management plan. Mr. Strong seconded. The motion passed unanimously.

*24-44 Shane Bender/SNK Holdings LLC -- Amendment of Special Exception
516 Morgnec Road, Chestertown – Intense Village*

Ms. Gerber presented the staff report

There were no members of the public who wished to speak either online or in the hearing room.

The Commission briefly discussed the application to amend the special exception granted in 2016 for automobile repair services. The amendment would add a 24/7 towing service through state highway registration for Kent and northern Queen Anne's County.

Mr. Crowding moved to forward a favorable recommendation to the Board of Appeals for SNK Holdings, LLC to amend their special exception to allow towing services and to amend that service for towing only up to 24 hours a day, seven days a week. We find that it meets Article 7, Section 2, the general standards for special exception; therefore, we should send it the Board of Appeals. Mr. Saunders seconded. The motion passed unanimously.

*23-34 Morgnec Road Solar, LLC -- Major Site Plan (Preliminary), Map 37, Parcel 40 and 174
Intense Village, Community Residential, Rural Residential, and Resource Conservation District*

Mr. Carper presented the application for a preliminary site plan review of a proposed 245-acre utility-scale solar energy system. He noted that the applicant has provided updates since the last meeting, including summaries of compliance with CPCN conditions and County-wide standards for utility-scale solar systems.

Ms. Macfarlane, Mr. Leffner, Ms. Newcomb, and Mr. McCloskey presented on behalf of the applicant. They discussed updates to the site plan, including landscaping, berms, substation locations, and visual renderings. They also presented information on their agrivoltaics program, community engagement, and economic benefits. Ms. Whickham addressed pollinators. Mr. Dotterer addressed sheep management, and Ms. Turing addressed engineered grading of the berms.

Public testimony was received from Jordan Curtice; Janet Christensen-Lewis; A. Elizabeth Watson, FAICP; Thomas Tucker; Bonnie Tucker; Annie Richards, Shore Rivers; Thomas Kocubinski, RA, AIA; John Lysinger, and Judy Gifford.

The Commission discussed various aspects of the project, including substation location, landscaping, berm design, irrigation, and noise concerns. The Commission also discussed the proposed gateway feature and community benefits. The applicant's representatives were asked to respond to the questions raised by the public during public testimony. Applicant's representatives did so, and applicant's counsel summed stating applicant had met or exceeded standards.

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Ms. Reeder moved to grant preliminary site plan approval to Urban Grid for the solar installation on Morgnec Road, subject to the following conditions: MDOT SHA approval of the proposed facility entrance; finalized irrigation plan that meets the requirements established in Article 6, Section 11E of the Land Use Ordinance; final approval of the landscape maintenance agreement; approval and recordation of the Deed of Forest Conservation Easement and Agreement; approval of Urban Grid's erosion and sediment control and stormwater management plans; submission and approval of sureties for sediment and erosion control and stormwater management; submission and approval of sureties for landscape maintenance and bond requirements for decommissioning as listed in Article 6, Section 11 of the Land Use Ordinance; that the applicant obtains all required State and federal permits; that the final plan provides for the location of the substation in location 2; that the applicant be afforded the flexibility to provide 90% native plantings; that the existing berm plan is deemed adequate and meets the requirements of the Land Use Ordinance; and the applicant provides assurance that the project will meet the County noise ordinance requirements.

Mr. Saunders seconded. Motion was amended twice (final version appears above). The motion passed unanimously.

STAFF REPORTS

Ms. Gerber reported that next month's meeting is expected to include a zoning text amendment to allow dog kennels for foxhound clubs in RCD. Delmarva Power may return for final site plan review. Work continues with the Critical Area Commission on issues related to the new Land Use Ordinance and Zoning Map. The goal is to introduce the Land Use Ordinance for final adoption at the beginning of calendar year 2025.

Mr. Mackey reported that the State has reviewed the Land Use Ordinance and provided conditional approval. Updates are being made to address new requirements from the General Assembly, including housing and forest conservation. The Governor's Housing Initiative will require changes to how jurisdictions implement their laws regarding modular and manufactured housing as of January 1, 2025.

ADJOURN

Mr. Crowding moved to adjourn. Chair Hickman seconded. The meeting was adjourned at approximately 4:15 p.m.

/s/ Francis J. Hickman
Francis J. Hickman, Chair

/s/ William Mackey
William Mackey, AICP, Director

Please note 85% of this document was created by Claude 3 from Anthropic, using a transcript from Microsoft Teams.

PLEASE PLACE THE FOLLOWING IN THE KENT NEWS: **October 31, 2024**

BILL SHOULD BE SENT TO: Kent County Department of Planning, Housing, & Zoning
c/o Beth Grieb
400 High Street
Chestertown, Maryland 21620
mgrieb@kentgov.org

ANY QUESTIONS, CALL: Carla Gerber, 410-778-7474
cgerber@kentgov.org

**NOTICE OF PUBLIC HEARING
KENT COUNTY PLANNING COMMISSION**

On **Thursday, November 7, 2024, at 1:30 p.m.**, the Planning Commission will hold a public hearing in the County Commissioners' Hearing Room, 400 High Street, Chestertown, MD, on the following item:

Wicomico Hunt Club, Inc. – requesting a zoning text amendment to include dog kennels – fox hunting club as a permitted use on farms in the Resource Conservation District.

If you have any questions concerning the application, please contact the Department at 410-778-7423. If you need communication assistance, please contact the Maryland Relay Service at www.mdrelay.org or 7-1-1 for voice/TDD.



TO: Kent County Planning Commission
FROM: Carla Gerber, AICP, Deputy Director
MEETING: November 7, 2024
SUBJECT: Zoning Text Amendment – Adding Dog Kennel, Fox Hunting Club

Executive Summary

Request by Applicant

Genevieve H.R. Macfarlane, Esq., on behalf of Wicomico Hunt Club, Inc., is requesting a text amendment to include Dog Kennel, Fox Hunting Club, as a permitted by right use on farms in the Resource Conservation District and to add a definition of Dog Kennel, Fox Hunting Club to the Land Use Ordinance.

Public Process

Per Article XII, Section 6 of the Kent County *Land Use Ordinance* the Planning Commission shall review a proposed amendment, supplement, or change to the *Land Use Ordinance* and make recommendations to the County Commissioners.

Summary of Staff Report

The proposed amendment would add Dog Kennel, Fox Hunting Club as a permitted use on farms in the Resource Conservation District and define the use in the Definitions.

The proposed text amendment supports County goals to expand activities that support natural resource-based activities and tourism and is consistent with multiple goals and strategies within the Kent County Comprehensive Plan that support agriculture and natural-resource based uses.

Recommendation

Staff recommends that the proposed use be added as an accessory use on farms in RCD and not a principal use and that the use be conditioned upon:

1. Kennels are 200 feet from any side or rear lot line or in an existing building
2. Waste is properly managed
3. The fox hunting club is a member of the Masters of Foxhounds Association of North America (MFHA)

PRELIMINARY STAFF REPORT

TO: Kent County Planning Commission
FROM: Carla Gerber, AICP, Deputy Director
SUBJECT: Zoning Text Amendment – Adding Dog Kennel, Fox Hunting Club
DATE: October 24, 2024

DESCRIPTION OF PROPOSAL

Genevieve H.R. Macfarlane, Esq., on behalf of Wicomico Hunt Club, Inc., is requesting an amendment to Article V, Section 2.2 of the Resource Conservation District, Permitted Principal Uses and Structures, to include Dog Kennel, Fox Hunting Club, as a permitted use on farms in the Resource Conservation District, as well as an amendment to Article XI, Section 2, Definitions, to add a definition of Dog Kennel, Fox Hunting Club.

Commercial dog kennels are a permitted accessory use on all properties in the Agricultural Zoning District under certain conditions. Commercial dog kennels are a special exception in the Rural Character, Rural Residential, and Critical Area Residential districts. Commercial dog kennels require that any open dog pens, runs, cages, or kennels be at least 200 feet from any side or rear lot line. Commercial dog kennels are defined as “the keeping of any dog or dogs, regardless of number, for breeding, sale, boarding, or treatment purposes, except in an animal hospital, dog parlor, or pet shop as permitted by these regulations. The keeping of five or more dogs, six months or older, for any purpose.”

To amend Article V. District Regulations, Sections 2. Resource Conservation District (RCD), §2.2 Permitted Principal Uses and Structures, by adding a new # 19, which would read as follows:

Dog Kennel, Fox Hunting Club, on farms

To amend Article XI. Definitions, Sections 2 by adding a new #94.5, which would read as follows:

Dog Kennel, Fox Hunting Club- The keeping of hounds owned by a fox hunting club for the purpose of participating in the sport of fox chasing, breeding of hounds to perpetuate the sport of fox chasing, and training the hounds for the sport of fox chasing.

APPLICABLE LAW

Article XII, Section 6 of the *Kent County Land Use Ordinance* establishes the standards for the review and approval of a zoning text amendment as follows.

1. The County Commissioners may amend, supplement, or change the boundaries of the districts or the regulations of this Ordinance. Any amendment may be initiated by a resolution of the County Commissioners, the motion of the Planning Commission, or petition of any property owner using forms specified by the Planning Commission.
2. The application for an amendment to the text of the Ordinance shall, at a minimum, state in particular the article section, and paragraph sought to be amended. The application shall contain the language of the proposed amendment and shall recite the reasons for the proposed change in text.

...

4. Before taking any action on any proposed amendment, supplement, or change, the County Commissioners shall submit the proposal to the Planning Commission for review and recommendation. The Planning Commission may hold a hearing on any proposed amendment, supplement, or change before submitting its recommendation to the County Commissioners. The Planning Commission may request any pertinent data and information as it deems necessary. In its recommendation, the Planning Commission shall address:
 - a) The public need for the proposed amendment; and
 - b) The extent to which the proposed amendment complies with or deviates from the Comprehensive Plan and the Critical Area Law.
 - c) When reviewing an amendment to the zoning map, the Planning Commission shall address the suitability of the property in question for the uses permitted under the proposed zoning. The Planning Commission shall not recommend the adoption of the amendment unless it finds that the adoption of the amendment is in the public interest and not solely for the interest of the applicant. Failure of the Planning Commission to report to the County Commissioners within 60 days after its first meeting after the proposal was referred to them, shall be deemed approval.

COMPREHENSIVE PLAN

The proposed text amendment is consistent with multiple goals and strategies within the Kent County Comprehensive Plan.

- Maintain and strengthen natural resource and working lands based industries – page 15
- Enhance and expand locally based tourism that is rooted in the unique natural, cultural and historic features and qualities of Kent County – page 18
- Support agriculture as a permanent and preferred land use; promote Kent County as an agriculturally-friendly county – page 43

STAFF COMMENTS

The public need for the amendment is to expand activities that support natural resource-based activities and tourism.

The Resource Conservation District is intended for agriculture and natural resource-based uses. The proposed use is consistent with the intent of the district.

Staff recommends that the proposed use be added as an accessory use on farms in RCD and not a principal use and that the use be conditioned upon:

4. Kennels are 200 feet from any side or rear lot line or in an existing building
5. Waste is properly managed
6. The fox hunting club is a member of the Masters of Foxhounds Association of North America (MFHA)

Please note that Staff will also request these changes to the newly adopted ordinance when the County Commissioners review the suggested changes from the Critical Area Commission.

Staff recommends sending a favorable recommendation of the zoning text amendment as amended to the Board of County Commissioners.

**APPLICATION FOR TEXT AMENDMENT TO THE
KENT COUNTY LAND USE ORDINANCE
KENT COUNTY, MARYLAND**

Kent County Department of Planning, Housing and Zoning

Kent County Government Center
400 High Street • Chestertown, MD 21620
410-778-7423 (phone) • 410-810-2932 (fax)

Pursuant to Article XII, "Administrative Procedures" Section 6, "Amendments", of the Kent County Land Use Ordinance, I/We Wicomico Hunt Club, Inc. (F/K/A The Wicomico Hunt, Inc) C/O Genevieve H. R. Macfarlane, Esq.

Applicant's Name

of PO Box 616 Cecilton, MD 21913 (Applicant) Stevens Palmer, LLC 114 W. Water St. Centreville (counsel) (410) 758-4600 (Attorney Genevieve Macfarlane)

Address

Telephone Number

hereby petition the Kent County Commissioners to amend the Land Use Ordinance of Kent County, Maryland, as follows: Please see attached continuation sheet with proposed amendment to Article II, Section 3 and Article VII.

The purpose of the proposed amendment is to permit: Dog Kennel, Fox Hunting Club on farms greater than 20 acres in the RCD.



Genevieve H. R. Macfarlane, Esq. Counsel for Applicant

Applicant's Signature

October 2, 2024

Date

Please Note: The application for an amendment to the text of this Ordinance shall, at a minimum state in particular, the Article, Section, and paragraph sought to be amended. The application shall contain the language of the proposed amendment.

Instructions: The application shall be accompanied by \$500.00 filing fee, payable to the County Commissioners of Kent County.

For Office Use Only:

File Number	_____
Date Filed	_____
Date Referred to Planning Commission	_____
Date Recommend. Rec'd from Plan. Comm.	_____
County Comm. Public Hearing Date	_____
County Commissioners Action	_____
Date of Action	_____
Property Posted	_____



114 West Water Street, Centreville, Maryland 21617
410-758-4600 www.spp-law.com
gmacfarlane@spp-law.com

October 2, 2024

VIA E-MAIL AND HAND DELIVERY

Planning Commission of Kent County
400 High Street
Chestertown, MD 21620
cgerber@kentgov.org

Re: Wicomico Hunt Club, Inc.'s Application for Text Amendment to the
Kent County Zoning Ordinance, Dog Kennels- Fox Hunting Club

Dear Honorable Commissioners:


On behalf of Wicomico Hunt Club, Inc. ("WHC"), please accept the enclosed Application for Text Amendment to the Kent County Zoning Ordinance ("Application"). WHC desires to move its kennels to Kent County to perpetuate the sport of fox chasing on the Eastern Shore. Kent County has a rich history of fox chasing as Chestertown was home to the kennels previously held by Mr. Wilbur Ross Hubbard, who rode to hounds well into his nineties. Currently, WHC has many members that are residents of Kent County and who wish to continue the fox chasing traditions of agricultural preservation and conservation efforts.

WHC has identified the property of a prospective professional huntsman and home for the hounds that is a 20+ acre farm in the Resource Conservation District. Accordingly, we ask that the Zoning Ordinance be amended to include Dog Kennels, Fox Hunting Club as a permitted by right use in the Resource Conservation District on farms over 20 acres.

Please do not hesitate to reach out if you should have any questions or need anything else from us. Thank you for your time and consideration.

Sincerely,

STEVENS PALMER, LLC

By: 
Genevieve H. R. Macfarlane, Esq.

Enclosures

Cc: James Griffin, Esq., Wicomico Hunt Club, Inc. Master of Foxhounds
Edwin Fry, Wicomico Hunt Club, Inc. Master of Foxhounds
Cara Godack, Wicomico Hunt Club, Inc., Associate Master of Foxhounds
Alison Howard, Wicomico Hunt Club, Inc. Associate Master of Foxhounds

Attachment to Application for Text Amendment
to the Kent County Zoning Ordinance
Submitted by Genevieve H. R. Macfarlane, Esq. on behalf of Wicomico Hunt Club, Inc.
Dated October 2, 2024

(Note: **Bold, underlined** text denotes text to be added.):

ARTICLE II. DISTRICTS

SECTION 3. RESOURCE CONSERVATION DISTRICT

* * * *

A building or land shall be used only for the following. Detailed limitations and standards for these uses may be found in Article III. Administrative special exceptions are indicated by letter “A.” “B” indicates exceptions that require only Board of Appeals review. All other exceptions require Planning Commission and Board of Appeals reviews per Article IV.

Dog Kennel, Fox Hunting Club- Permitted by right on farms only **X**

* * * *

ARTICLE VII. DEFINITIONS

Dog Kennel, Fox Hunting Club- The keeping of hounds owned by a fox hunting club for the purpose of participating in the sport of fox chasing, breeding of hounds to perpetuate the sport of fox chasing and training the hounds for the sport of fox chasing.

* * * *

The purpose of the proposed text amendment is to allow kennels for fox chasing hounds on farms greater than 20 acres in the Resource Conservation District. Kent County has a rich history of fox chasing. This amendment allows the sport to continue to operate in Kent County and is in conformity with the comprehensive plan as fox chasing is a complementary sport to agriculture and conservation.



TO: Kent County Planning Commission
FROM: Carla Gerber, Deputy Director
MEETING: November 7, 2024
SUBJECT: KNR, Inc. – Preliminary Site Plan –Convenience Store/Deli

Executive Summary

Request by Applicant

Kevin Shearon, on behalf of Mr. Sunny Datta, KNR, Inc, is requesting preliminary site plan review for the construction of a convenience store and deli at 10816 Worton Road, Worton.

Public Process

Per Maryland State Law and Article VI, Section 5 of the Kent County *Land Use Ordinance* the Planning Commission shall review and approve Major Site Plans.

Summary of Staff Report

Mr. Datta is proposing to construct a convenience store and deli on his 0.401-acre parcel located at the southwest corner of the intersection of Worton Road and Porters Grove Road. The proposed store will be 2,960 square feet and will have 16 parking spaces. The parcel is zoned Village (V), and the surrounding area is a mix of residential and agricultural uses.

Recommendation

Staff recommends granting preliminary approval. As part of the approval the Planning Commission should formally approve:

- 1) The building location with respect to Worton Road.

Principal buildings should generally be within 40 feet and no closer than 20 feet to the front line unless there are substantial counterbalancing considerations. Worton Road is considered the technical front yard, and the proposed building is setback over 130 feet from Worton. However, the property is unique in that there is a railroad “restricted area” easement that prevents obstructions for a significant part of the parcel near Worton Road. Staff considers the proposed location of the building to be consistent with the spirit and intent of the Ordinance.

- 2) Allowing parking spaces to extend into the front yard setback of the side street of a corner lot.

The Ordinance specifically prohibits locating parking lots between the front property line and the primary building. Based on the definition of corner lots, Worton Road is the technical front yard, and parking is located between the building and Worton Road. However, corner lots have two front yards. The entrance to the parking lot is from Porters Grove Road and the majority of the parking lot is located behind the setback line. Given the unique size and shape of the parcel and the “restricted area” easement, staff would recommend that the parking be allowed as proposed

3) Outdoor storage and sales for ice and propane.

Neighborhood retail sales are to be conducted entirely within a building except where otherwise approved by the Planning Commission.

In order to grant final approval, the following items need to be completed or submitted:

- Approval of sediment control and stormwater management plans
- Details of proposed lighting and signs
- Submission of required sureties for sediment control, stormwater management, and landscaping

PRELIMINARY STAFF REPORT

TO: Kent County Planning Commission
SUBJECT: KNR, Inc, – Preliminary Site Plan –Convenience Store/Deli
DATE: October 31, 2024

DESCRIPTION OF PROPOSAL

Kevin Shearon, on behalf of Mr. Sunny Datta, KNR, Inc, is requesting concept site plan review for the construction of a convenience store and deli at 10816 Worton Road, Worton. The 0.401-acre parcel is located at the southwest corner of the intersection of Worton Road and Porters Grove Road. The proposed store will be 2,960 square feet and there will be 16 parking spaces. The parcel is zoned Village (V), and the surrounding area is a mix of residential and agricultural uses.

Relevant Issues

I. Uses

- A. *Comprehensive Plan*: Promote development of small locally owned businesses. Page 10
- B. *Applicable Law*: Article V, Section 7.2, #16 of the Kent County Land Use Ordinance permits: Neighborhood retail businesses which supply household commodities on the premises such as groceries, meats, dairy products, baked goods, or other foods, drugs, notions, flowers or hardware. All retail sales shall be conducted entirely within a building, except where otherwise approved by the Planning Commission.
- C. *Staff and TAC Comments*: The applicant is proposing a convenience store and deli. An ice chest and propane cage will be located on the five-foot wide sidewalk in front of the building. There will be three feet of clear width between these items and the pavement. The Planning Commission must approve the outdoor sales area.

II. Density, Area, Height, Width and Yard Requirements

- A. *Applicable Law*: Article V, Section 7.5 of the Kent County Land Use Ordinance establishes the yard and setback requirements.
- B. *Staff and TAC Comments*: The proposed building meets the setback requirements.

III. District Environmental Standards

- A. *Applicable Law*: Article V, Section 7.7 in the Kent County Land Use Ordinance establishes the Village Environmental Design Standards, which include forest conservation and stormwater standards. The purpose of these standards is to provide for the proper stewardship of the County's natural resources. Specifically, it is the overall goal of the County to maintain the quality of the County's ecosystem in the face of continuing activity, growth, and change.
- B. *Staff and TAC Comments*: The project is exempt from Forest Conservation as an activity on a previously developed area covered by impervious surface and located in a Priority Funding Area. Stormwater and sediment and erosion control plans are under review. Estimates and sureties, along with approved plans, will be required for final site plan approval.

IV. District Design Standards.

A. *Applicable Law:* Article V, Section 7.8 of the Land Use Ordinance establishes the General Village Design Standards which address site access, parking, lighting, and landscaping.

B. *Staff and TAC Comments:*

Building Arrangement and Site Design: Principal buildings should generally be within 40 feet and no closer than 20 feet to the front line unless there are substantial counterbalancing considerations. Worton Road is considered the technical front yard, and the proposed building is setback over 130 feet from Worton. However, the property is unique in that there is a railroad “restricted area” easement that prevents obstructions for a significant part of the parcel near Worton Road. Staff considers the proposed location of the building to be consistent with the spirit and intent of the Ordinance.

Parking Areas: The Ordinance specifically prohibits locating parking lots between the front property line and the primary building. Based on the definition of corner lots, Worton Road is the technical front yard, and parking is located between the building and Worton Road. However, corner lots have two front yards. The entrance to the parking lot is from Porters Grove Road and the majority of the parking lot is located behind the setback line. Parking bumpers have been provided. Given the unique size and shape of the parcel and the “restricted area” easement, staff would recommend that the parking be allowed as proposed.

Delivery Trucks and Trash Collection: The Ordinance directs that loading and unloading spaces should not block major pedestrian ways or create blind spots and trash boxes should be accessible when all parking spaces are filled. The concept plan had a loading/unloading space along the side of the building, within the front yard setback, along Porters Grove Road. Based on feedback from the community and the Planning Commission during concept review, the loading space was eliminated and the parking lot reconfigured. The trash box is accessible, although emptying the trash box may temporarily block parking spaces.

Landscaping: The landscape plan exceeds the 15% requirement. The front yard shall be landscaped and maintained in a neat and attractive condition. The plan includes a mix of canopy trees, shrubs, and perennials. A line of trees is located at the rear of the building. The trash enclosure has screening on three sides, and the parking lot has shrubs surrounding the paved area.

V. Parking Requirements

A. *Applicable Law:* Article VI, Section 1.3 of the Kent County *Land Use Ordinance* establishes the parking standards. Retail stores require 1 space per 200 square feet of gross floor area.

B. *Staff and TAC Comments:* The site plan has 15 regular parking spaces and 1 ADA accessible space which meets the requirement. A bike rack will be placed on a concrete pad near the front of the store.

VI. Building design

A. *Applicable Law:* Article V, Section 7.8.C, #11 of the Land Use Ordinance establishes standards for building mass, size, and scale.

B. *Staff and TAC Comments:* Building elevations have been submitted and they appear to comply with the standards.

VI. Site Plan Review

A. *Comprehensive Plan:* “Implement thorough design review for new development and major renovations.” (Page 33)

B. *Applicable Law:* Article VI, Section 5.3 of the Kent County *Land Use Ordinance* establishes site plan review procedures. The Planning Commission shall prepare findings of fact concerning the reasonable fulfillment of the objectives listed below.

- a. Conformance with the Comprehensive Plan and, where applicable, the Village Master Plan.
- b. Conformance with the provisions of all applicable rules and regulations of county, state, and federal agencies.
- c. Convenience and safety of both vehicular and pedestrian movement within the site and in relationship to adjoining ways and properties.
- d. Provisions for the off-street loading and unloading of vehicles incidental to the normal operation of the establishment, adequate lighting, and internal traffic control.
- e. Reasonable demands placed on public services and infrastructure.
- f. Adequacy of methods for sewage and refuse disposal, and the protection from pollution of both surface waters and groundwater. This includes minimizing soil erosion both during and after construction.
- g. Protection of abutting properties and County amenities from any undue disturbance caused by excessive or unreasonable noise, smoke, vapors, fumes, dust, odors, glare, stormwater runoff, etc.
- h. Minimizing the area over which existing vegetation is to be removed. Where tree removal is required, special attention shall be given to planting of replacement trees.
- i. The applicant's efforts to integrate the proposed development into the existing landscape through design features such as vegetative buffers, roadside plantings, and the retention of open space and agricultural land.
- j. The applicant's efforts to design the development to complement and enhance the rural and historic nature of the County including incorporating into the project forms and materials that reflect the traditional construction patterns of neighboring communities.
- k. The building setbacks, area, and location of parking, architectural compatibility, signage, and landscaping of the development, and how these features harmonize with the surrounding townscape and the natural landscape.

C. *Staff and TAC Comments:*

- The proposal is consistent with strategies and goals of the Comprehensive Plan.
- The property is served by public water and sewer.
- Stormwater management and erosion and sediment control plans are under review.
- The number of parking spaces meets the minimum required.
- There are no known impacts or unreasonable demands on public services and infrastructure.
- Proposed building elevations have been submitted.
- A lighting plan and sign proposal will be developed prior to final review.
- A plan review for a food service facility will need to be obtained and approved by the Kent County Health Department.
- The proposed building complies with the setback requirements.
- A citizen participation meeting was held, and the report is included in the applicant's materials.
- The applicant is awaiting comments from DPW regarding the proximity of the entrance to the intersection. The applicant notes that the center of the entrance is approximately 138 feet from the stop bar at the intersection.
- The applicant notes that an inlet and storm drain piping have been added along Porter's Grove Road to improve drainage in the area.
- An ice chest and propane cage have been shown on the site plan.

Staff Recommendation

Staff recommends granting preliminary approval. As part of the approval the Planning Commission should formally approve:

- 1) The building location with respect to Worton Road.

Principal buildings should generally be within 40 feet and no closer than 20 feet to the front line unless there are substantial counterbalancing considerations. Worton Road is considered the technical front yard, and the proposed building is setback over 130 feet from Worton. However, the property is unique in that there is a railroad “restricted area” easement that prevents obstructions for a significant part of the parcel near Worton Road. Staff considers the proposed location of the building to be consistent with the spirit and intent of the Ordinance.

- 2) Allowing parking spaces to extend into the front yard setback of the side street of a corner lot.

The Ordinance specifically prohibits locating parking lots between the front property line and the primary building. Based on the definition of corner lots, Worton Road is the technical front yard and parking is located between the building and Worton Road. However, corner lots have two front yards. The entrance to the parking lot is from Porters Grove Road and the majority of the parking lot is located behind the setback line. Given the unique size and shape of the parcel and the “restricted area” easement, staff would recommend that the parking be allowed as proposed

- 3) Outdoor storage and sales for ice and propane.

Neighborhood retail sales are to be conducted entirely within a building except where otherwise approved by the Planning Commission.

In order to grant final approval, the following items need to be completed or submitted:

- Approval of sediment control and stormwater management plans
- Details of proposed lighting and signs
- Submission of required sureties for sediment control, stormwater management, and landscaping

Kent County Department of Planning, Housing and Zoning

Kent County Government Center
400 High Street • Chestertown, MD 21620
410-778-7475 (phone) • 410-810-2932 (fax)

SITE PLAN APPLICATION

File Number: _____ **Amount Paid:** _____ **Date:** 9/24/24

Project Name: Proposed Convenience Store / Deli on the lands of KNR, Inc.

District: 3rd Map: 28 Parcel: 167 Lot Size: 0.401ac. Deed Ref: 351/33 Zoning: Village

LOCATION: 10816 Worton Road, Worton, Maryland 21678

PROPOSED USE: Convenience Store / Deli

OWNER OF LAND:

Name: KNR, Inc. Telephone: 410-490-5196

Address: 201 Brynawel Lane, Church Hill, MD 21623 Email: sunnylove624@gmail.com

APPLICANT:

Name: (same as owner) Telephone: _____

Address: _____ Email: _____

AGENT/ATTORNEY (if any):

Name: _____ Telephone: _____

Address: _____ Email: _____

REGISTERED ENGINEER OR SURVEYOR:

Name: DMS & Associates c/o Kevin Shearon Telephone: 443-262-9130

Address: P.O. Box 80, Centreville, MD 21617 Email: kjs@dmsandassociates.com

Please provide the email of the one person who will be responsible for responding to comments. Only this person will be contacted by staff and will be the person responsible for forwarding the comments or requests for additional information to any other interested parties. EMAIL: kjs@dmsandassociates.com

Water Supply: Public System On lot system

Sewerage: Public System On lot system

TELEPHONE SERVICED BY: Verizon

ELECTRIC SERVICED BY: Delmarva Power

NOTICE: The Planning Office is not required to make out this Application. If the Planning Department assists you, it cannot be held responsible for its contents.


Signature of Applicant

9/24/24
Date

- Concept Plan Approving Authority: _____ Date _____
- Preliminary Approving Authority: _____ Date _____
- Final Approving Authority: _____ Date _____

PROJECT NARRATIVE

Proposed Convenience Store / Deli 10816 Worton Road, Worton, Maryland

In accordance with Article VI, Section 5.4.B of the Kent County Zoning Ordinance, we offer the following:

1. Name and address of the landowner, the developer and/or representative, if different from the owner.

**KNR, Inc. c/o Sunny Datta
201 Brynawel Lane
Church Hill, Maryland 21623**

2. Street address, tax map, parcel number, and subdivision if any.

**10816 Worton Road
Worton, Maryland 21623**

Tax Map 28, Parcel 167

3. Zoning of the site.

Village (V)

4. Current and proposed use of the property.

The property is currently occupied by a dilapidated building that is not currently used. The proposed use is a neighborhood retail business / convenience store and deli.

5. An explanation of the viewshed, open space, and conservation analysis undertaken during the design of the site plan.

The site contains a "Restricted Area" easement to provide visibility for trains along the railroad tracks looking north at the crossing with Maryland Route 297 (Worton Road). The easement restricts structures within the easement, therefore, the new building has been proposed along the west side of the site, away from the easement and the intersection.

6. How the proposed development complies with the Comprehensive Plan and the design and environmental standards of the Ordinance.

The proposed development is consistent with the Comprehensive Plan as it promotes the development of small locally owned businesses, promotes local shopping and family dining opportunities, and provides an opportunity to address an existing blighted building.

7. Proposed type of water and sewer service.
Public water and sewer will be utilized for this development.
8. Number of employees.
It is anticipated that a maximum of three employees will be at the store full time.
9. The proposed development schedule and phases of development for all proposed construction.
The development is anticipated to be completed in one phase that will take approximately 9 months to complete.
10. Statement of provisions for ultimate ownership and maintenance of all parts of the development including streets, structures, and open space.
Ownership and maintenance of the development will be the responsibility of KNR, Inc.

D:\0000 from old computer\IDUs PROJECTS\SUNIL DATTA\WORTON STORE\WORTON STORE 2.pln



FRONT VIEW



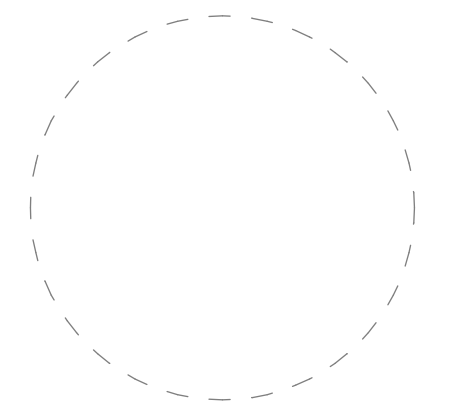
VIEW FROM RAILROAD SIDE



VIEW TURNING ONTO PORTERS GROVE ROAD

CONTRACTOR

CONSULTANTS



SUNIL DATTA

#Site Address1
#Site City, #Site
Postcode

FOR
PERMITS

MARK	DATE	DESCRIPTION
------	------	-------------

PROJECT NO: #Project Code
DATE:
17 AUGUST 2023
DRAWN BY: DJJ
COPYRIGHT:

SHEET TITLE

VIEWS

4

SHEET #LayNolnCurrentTos4mittalSet

PRELIMINARY SITE PLAN ON THE LANDS OF *KNR, INC.*

THIRD ELECTION DISTRICT, KENT COUNTY, MARYLAND

PREPARED FOR : SUNNY DATTA

SITE STATISTICS

TOTAL SITE AREA	= 17,453 sq. ft.± (0.401 acres±)
AREA IN NATURAL RESOURCES	= 0.00 acres±
AREA IN FLOODPLAIN	= 0.00 acres±
FLOOR AREA (EXISTING) (16.5%)	= 0,000 sq. ft.± (0.000 acres±)
FLOOR AREA (TO BE REMOVED)	= 0,000 sq. ft.± (0.000 acres±)
FLOOR AREA (PROPOSED)	= 2,960 sq. ft.± (0.068 acres±)
FLOOR AREA (TOTAL) (17.0%)	= 2,960 sq. ft.± (0.068 acres±)
IMPERVIOUS AREA (EXISTING) (46.0%)	= 8,035 sq. ft.± (0.184 acres±)
IMPERVIOUS AREA (TO BE REMOVED)	= 7,446 sq. ft.± (0.171 acres±)
IMPERVIOUS AREA (PROPOSED)	= 9,944 sq. ft.± (0.228 acres±)
IMPERVIOUS AREA (TOTAL) (60.4%)	= 10,533 sq. ft.± (0.242 acres±)
LANDSCAPE AREA (EXISTING) (54.0%)	= 9,418 sq. ft.± (0.216 acres±)
LANDSCAPE AREA (PROVIDED) (69.6%)	= 6,920 sq. ft.± (0.159 acres±)

PARKING REQUIREMENTS

<u>RETAIL or WHOLESALE STORE:</u>	
1 space/200 sq. ft. FLOOR AREA X 2,960 sq. ft.	= 15 SPACES
PARKING SPACES (REQUIRED)	= 15 SPACES (1 ACCESSIBLE)
PARKING SPACES (PROVIDED)	= 16 SPACES (1 ACCESSIBLE)

OWNER:

KNR, INC.
201 BRUNAWEL LANE
CHURCH HILL, MARYLAND 21623
PHONE No. 1-410-490-5196

SURVEYOR

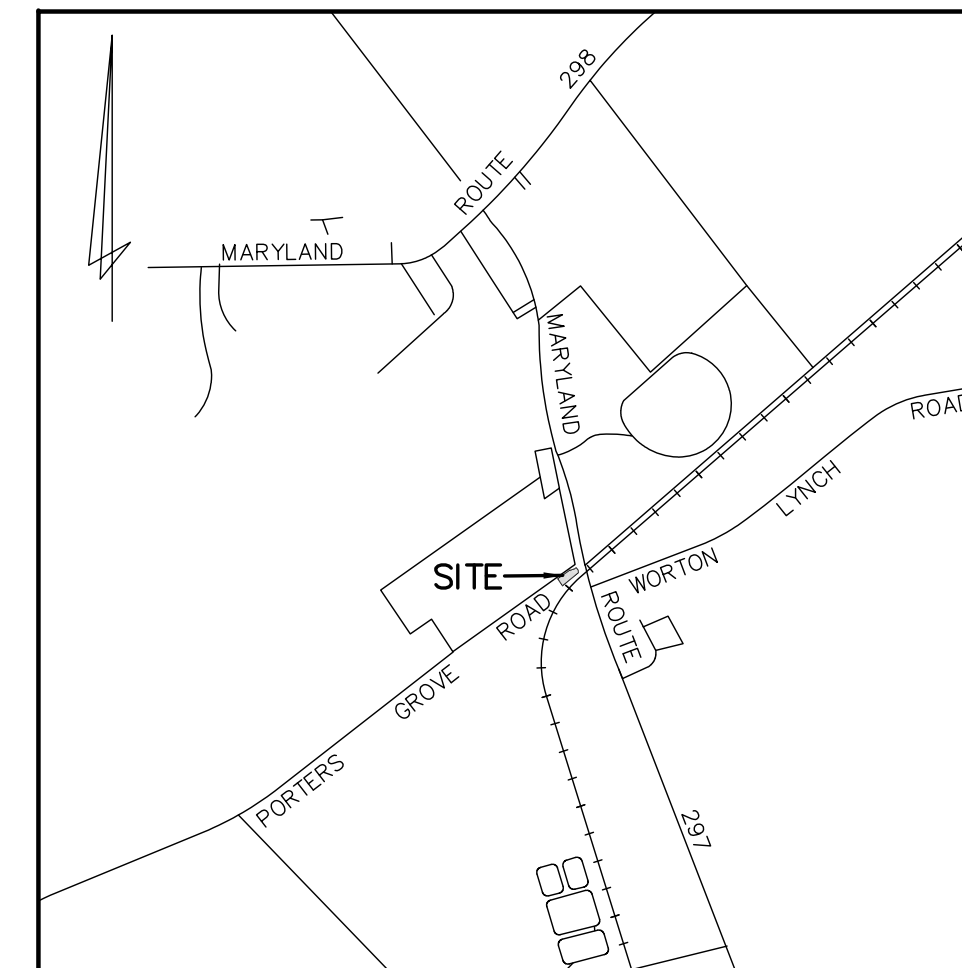
MICHAEL A. SCOTT, INC.
400 S. CROSS STREET
CHESTERTOWN, MARYLAND 21620
PHONE No. 1-410-778-2310

ENGINEER

DMS & ASSOCIATES, LLC
c/o KEVIN J. SHEARON, P.E. LEED AP
P.O. BOX 80
CENTREVILLE, MARYLAND 21617
PHONE No. 1-443-262-9130

NOTES

- PROPERTY LINE INFORMATION SHOWN HEREON IS TAKEN FROM PLAT ENTITLED "MINOR SUBDIVISION PLAT, DONALD JEAN AND JANE D. CROWDING" PREPARED BY WILLIAM M. CROWDING, II REGISTERED SURVEYOR, IN JUNE, 1999 AND RECORDED IN PLAT BOOK LIBER M.L.M. 2, FOLIO 222. HORIZONTAL DATUM IS ASSUMED.
- FOR DEED REFERENCE, SEE LIBER M.L.M. 351, FOLIO 33.
- CURRENT ZONING CLASSIFICATION - (V) VILLAGE
- THE PROPERTY IS NOT LOCATED WITHIN THE CHESAPEAKE BAY CRITICAL AREA.
- SITE IS NOT LOCATED WITHIN 100 YEAR FLOODPLAIN AS SCALED FROM FLOOD INSURANCE RATE MAP COMMUNITY PANEL No. 24029C0165D. ZONE "X" (UNSHADED) EFFECTIVE DATE JUNE 9, 2015.
- SOILS ONSITE CONSIST OF "MnA" MATTAPEAKE SILT LOAM AS SCALED FROM <http://websoilsurvey.nrcs.usda.gov> FOR KENT COUNTY, MARYLAND. "MnA" IS A NON-HYDRIC SOIL.
- NO NATURAL RESOURCE (i.e., WETLANDS, WOODLANDS, STEEP SLOPES, STREAMS OR BUFFERS, EROSION HAZARD AREAS, ENDANGERED SPECIES OR HABITAT, etc.) EXIST ON THE SITE.
- EXISTING IMPROVEMENTS AND CONTOURS SHOWN ON THE PROPERTY ARE THE RESULT OF A FIELD RUN SURVEY BY MICHAEL A. SCOTT, INC. IN NOVEMBER, 2006. HORIZONTAL DATUM IS ASSUMED. VERTICAL DATUM IS NAVD 88.
- EXISTING PUBLIC SEWER AND EXISTING PUBLIC WATER WILL BE UTILIZED FOR SEWAGE DISPOSAL AND POTABLE WATER SUPPLY.
- STORMWATER MANAGEMENT FOR THE SITE HAS BEEN ADDRESSED VIA THE IMPLEMENTATION OF ENVIRONMENTAL SITE DESIGN (ESD) TO THE MAXIMUM EXTENT PRACTICABLE (MEP).
- ALL PROPOSED LIGHTING SHALL BE DARK SKY COMPATIBLE.
- SIGNAGE WILL BE LIMITED TO ONE (1) FLAT SIGN PER ESTABLISHMENT LIMITED TO 25 sq. ft. OR 5% OF THE FRONT FACADE OF THE BUILDING OR (1) DETACHED SIGN NOT TO EXCEED 25 sq. ft., WHICHEVER IS THE LEAST.
- SETBACK AND HEIGHT REQUIREMENTS:**
FRONT YARD = 20'
SIDE YARD = 10'
REAR YARD = 10'
MAXIMUM BUILDING HEIGHT = 40'



VICINITY MAP
SCALE 1" = 2000'

TABLE OF CONTENTS

SHEET C-1	- TITLE SHEET
SHEET C-2	- EXISTING CONDITIONS AND DEMOLITION PLAN
SHEET C-3	- SITE, UTILITY, STORMWATER MANAGEMENT AND SEDIMENT & EROSION CONTROL PLAN
SHEET C-4	- STORMWATER MANAGEMENT DETAILS AND SPECIFICATIONS
SHEET C-5	- STORMWATER MANAGEMENT SECTIONS
SHEET C-6	- SITE AND UTILITY DETAILS
SHEET C-7	- SEDIMENT & EROSION CONTROL DETAILS AND SPECIFICATIONS
SHEET L-1	- LANDSCAPE PLAN
SHEET L-2	- LANDSCAPE DETAILS AND SPECIFICATIONS

LEGEND

	DEPicts DEED POINT (UNLESS OTHERWISE NOTED)
	EXISTING SPOT ELEVATION
	PROPOSED SPOT ELEVATION
	EXISTING DITCH
	EXISTING CONTOUR ELEVATION
	PROPOSED CONTOUR
	EXISTING UTILITY POLE WITH OVERHEAD UTILITY LINE
	EXISTING SIGN
	PROPOSED SIGN
	PROPOSED NUMBER OF PARKING SPACES
	PROPOSED ACCESSIBLE PARKING SPACE
	EXISTING TREE
	EXISTING SEWER LINE
	EXISTING SEWER MANHOLE
	PROPOSED SEWER CLEANOUT
	EXISTING WATER LINE
	EXISTING FIRE HYDRANT
	EXISTING WATER VALVE
	PROPOSED WATER VALVE
	AT GRADE INLET PROTECTION (AGIP)
	PERIMETER SILT FENCE
	LIMITS OF DISTURBANCE
	STABILIZED CONSTRUCTION ENTRANCE

NOTE:
ALL SEDIMENT AND EROSION CONTROL WILL BE STRICTLY ENFORCED

GENERAL NOTES

- These drawings show information obtained from the best available records regarding pipes, conduits, telephone lines, and other structures and conditions which exist along the lines of the work both at and below the surface of the ground. The owner and engineer disclaim any responsibilities for the accuracy or completeness of said information being shown only for the convenience of the contractor, who must verify the information to his own satisfaction. If the contractor relies on said information, he does so at his own risk. The giving of the information on the contract drawings will not relieve the contractor of his obligations to support and protect all pipes, conduits, telephone lines, and other structures.
- The contractor shall notify the following two (2) weeks prior to the start of construction and shall coordinate construction with the utility companies involved:
Delmarva Power & Light Company ----- 1-800-375-7117
Miss Utility ----- 1-800-441-8355
DMS & Associates, LLC ----- 1-443-262-9130
Kent County Dept. Public Works ----- 1-410-778-7439
Kent Co. Sediment & Erosion Control Inspector - 1-410-778-7459
Kent Co. Dept. of Water & Wastewater ----- 1-410-778-3287
Maryland Department of the Environment ----- 1-410-631-3510
- All construction shall be marked for traffic and pedestrian safety.
- The Contractor shall provide all equipment, labor, and materials for any miscellaneous or test pit excavations required by the Engineer.
- The owner is responsible for the acquisition of all easements, both permanent and temporary.
- The Contractor assumes all responsibility for any deviations from these plans unless said deviation is approved by the Engineer. Contractor shall receive written permission from the Engineer if a deviation of the plans is necessary.
- All disturbed areas shall be smoothly graded to provide positive drainage in the direction of flow arrows herein and stabilized with topsoil, seed, and mulch. If settlement occurs, topsoil, seeding, and mulching shall be repeated until settlement subsides (See Erosion and Sediment Control Specifications).
- All trash, trees, and underbrush are to be cleared and removed off site to an approved dump site by the contractor.
- Any excess excavated material shall be removed off site by the contractor or material shall be placed on site as directed by the Engineer and/or Owner.
- Any existing survey monumentation that is disturbed during construction shall be replaced by a registered surveyor at the contractor's expense.
- The Contractor shall conduct his work in easements so that there will be a minimum of disturbance of the properties crossed. Any disturbed areas shall be restored to its original condition.
- All materials and methods of construction shall conform to the drawings, specifications, local building codes, and the standard specifications and details of Kent County.
- All drainage structures and swales shall remain functional during construction unless otherwise indicated on the plans.
- All water valves, boxes and hydrants shall be set and adjusted to finish grade.
- Wherever sewer or water mains or services run parallel to each other, a minimum horizontal separation of 10' shall be provided.
- Minimum cover over the sewer main shall be 42".
- All concrete used for utility work shall be in accordance with MD SHA Standards and Specifications for Mix No. 2.
- All paving materials and methods shall be in accordance with the latest MD SHA Standards and Specifications and be supplied by a State Certified plant.
- Trenches shall not remain open overnight. If it is necessary for trenches to remain open, steel plates capable of bearing traffic shall be used to completely cover the trench openings.
- Erosion and Sediment Control will be strictly enforced by the Kent County Sediment and Erosion Control Inspector.

STATEMENT OF PURPOSE AND INTENT

THE SITE IS LOCATED ON THE WEST SIDE OF MARYLAND ROUTE 297 AND SOUTH SIDE OF PORTERS GROVE ROAD IN THE VILLAGE OF WORTON, MARYLAND. EXISTING IMPROVEMENTS ON THE SITE CONSIST OF A DILAPIDATED BUILDING, PORCH AND CONCRETE PAD. THE PURPOSE OF THIS SITE PLAN IS TO DEMOLISH THE EXISTING IMPROVEMENTS AND CONSTRUCT A NEW CONVENIENCE STORAGE AND ITS ASSOCIATED PARKING.

THE INTENT OF THIS SITE PLAN IS RECEIVE APPROVAL FROM THE KENT COUNTY DEPARTMENT OF PLANNING AND ZONING FOR THE PROPOSED IMPROVEMENTS.

REVIEWED FOR THE KENT SOIL AND WATER CONSERVATION DISTRICT AND MEET TECHNICAL REQUIREMENTS

APPROVED:

KENT SOIL AND WATER CONSERVATION DISTRICT _____ DATE _____

NOTE: KENT SOIL AND WATER CONSERVATION DISTRICT RESERVES THE RIGHT TO ADD, DELETE, MODIFY OR OTHERWISE ALTER THE EROSION CONTROL PROVISIONS OF THIS PLAN IN THE EVENT ADDITIONAL PROTECTION BECOMES NECESSARY.

DEVELOPERS CERTIFICATION

I (WE) CERTIFY THAT:

A. ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE IN ACCORDANCE WITH THIS SEDIMENT AND EROSION CONTROL PLAN AND/OR STORMWATER MANAGEMENT PLAN, AND FURTHER, AUTHORIZED THE RIGHT OF ENTRY FOR PERIODIC ONSITE EVALUATION BY THE KENT SOIL AND WATER CONSERVATION DISTRICT SEDIMENT CONTROL INSPECTOR OR MARYLAND DEPARTMENT OF THE ENVIRONMENT.

B. ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATION OF ATTENDANCE AT THE DEPARTMENT OF ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF EROSION AND SEDIMENT BEFORE BEGINNING THE PROJECT.

C. IT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR OR SUBCONTRACTOR TO NOTIFY THE ENGINEER OF ANY DEVIATION FROM THIS PLAN. ANY CHANGE MADE IN THIS PLAN WITHOUT WRITTEN AUTHORIZATION FROM THE ENGINEER WILL PLACE RESPONSIBILITY FOR SAID CHANGE ON THE CONTRACTOR OR SUBCONTRACTOR.

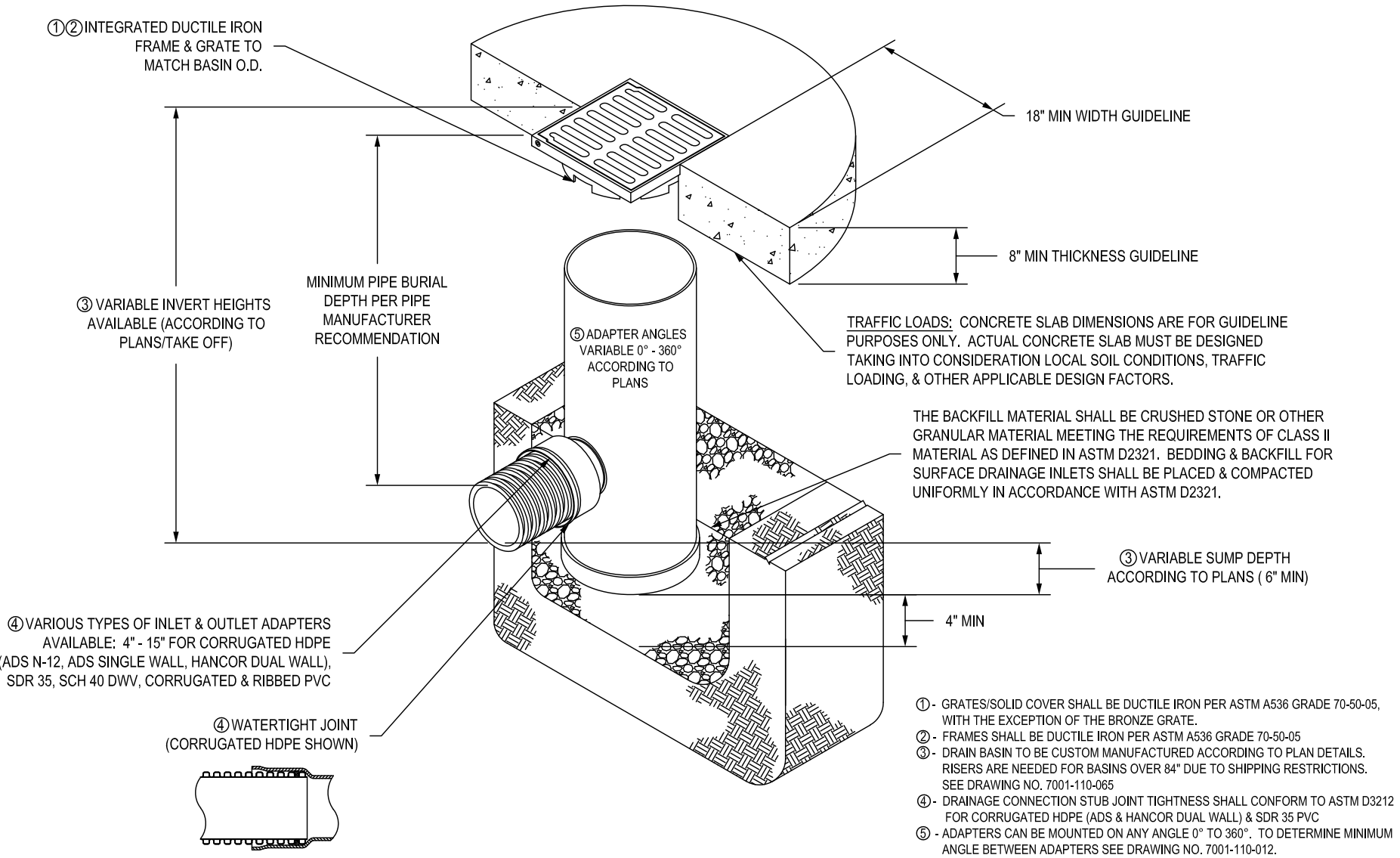
SIGNATURE _____ DATE _____

ADDRESS _____ CARD No. _____

PHONE No. _____

KENT COUNTY DEPARTMENT OF PLANNING AND ZONING	KENT COUNTY DEPARTMENT OF PUBLIC WORKS	PROFESSIONAL CERTIFICATION I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A SELF LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE No. 2004099	DATE 10-25-24	REVISION PER COMMENTS	TITLE SHEET ON THE LANDS OF KNR, INC. IN THE VILLAGE OF WORTON TAX MAP - 28, GRID - 1B, PARCEL - 167 THIRD ELECTION DISTRICT, KENT COUNTY, MARYLAND PREPARED FOR : SUNNY DATTA	DATE SEPTEMBER '24	SCALE AS SHOWN
KENT COUNTY HEALTH DEPARTMENT	KENT SOIL AND WATER CONSERVATION DISTRICT					JOB No. 2022049	DRAWN BY WJM
		DAVIS, MOORE, SHEARON & ASSOCIATES, LLC ENGINEERING, DRAFTING/DESIGN, ENVIRONMENTAL SERVICES & SURVEYING P.O. BOX 80 CENTREVILLE, MARYLAND 21617 PHONE : 1-443-262-9130 FAX : 1-443-262-9148				FOLDER Ref. 28-2022049	DESIGNED BY KJS
		OCTOBER 25, 2024 DATE _____ SEAL _____				SHEET No. - C-1	
						CADD FILE - 22049-C1	

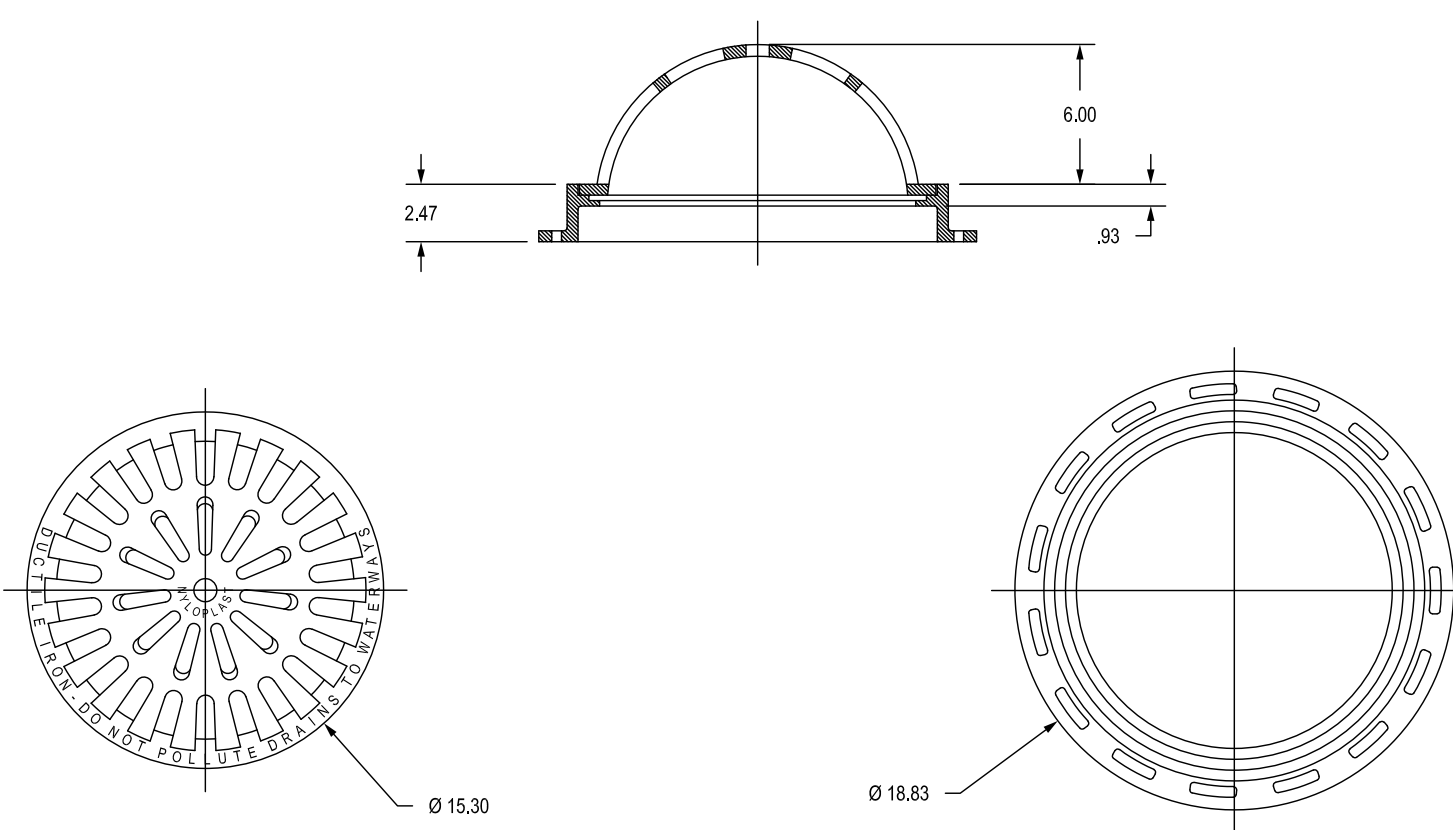
NYLOPLAST 15" DRAIN BASIN: 2815AG __ X



<p>THIS PRINT DISCLOSES SUBJECT MATTER IN WHICH NYLOPLAST HAS PROPRIETARY RIGHTS. THE RECEIPT OR POSSESSION OF THIS PRINT DOES NOT CONFER, TRANSFER, OR LICENSE THE USE OF THE DESIGN OR TECHNICAL INFORMATION SHOWN HEREIN. REPRODUCTION OF THIS PRINT OR ANY INFORMATION CONTAINED HEREIN OR MANUFACTURE OF ANY ARTICLE HEREFROM, FOR THE DISCLOSURE TO OTHERS IS FORBIDDEN EXCEPT BY SPECIFIC WRITTEN PERMISSION FROM NYLOPLAST.</p>	<p>DRAWN BY: EBC DATE: 3-30-06</p> <p>APP'D BY: CJA DATE: 3-30-06</p> <p>DWG NO. 7091-110-190 SCALE: 1:20 SHEET: 1 OF 1</p>	<p>MATERIAL: DUCTILE IRON</p> <p>PROJECT NO. NAME: 15 IN DRAIN BASIN QUICK SPEC INSTALLATION DETAIL</p> <p>TITLE: 15 IN DRAIN BASIN QUICK SPEC INSTALLATION DETAIL</p> <p>DWG NO. 7091-110-190 SCALE: 1:20 SHEET: 1 OF 1</p>	<p>3150 VERONA AVE BURBORG, GA 30918 PH: (770) 932-2443 FAX: (770) 932-2499 www.nyloplast.com</p>
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1599CGD

APPROX. DRAIN AREA = 115.49 SQ IN
APPROX. WEIGHT WITH FRAME = 47.30 LBS



<p>THIS PRINT DISCLOSES SUBJECT MATTER IN WHICH NYLOPLAST HAS PROPRIETARY RIGHTS. THE RECEIPT OR POSSESSION OF THIS PRINT DOES NOT CONFER, TRANSFER, OR LICENSE THE USE OF THE DESIGN OR TECHNICAL INFORMATION SHOWN HEREIN. REPRODUCTION OF THIS PRINT OR ANY INFORMATION CONTAINED HEREIN OR MANUFACTURE OF ANY ARTICLE HEREFROM, FOR THE DISCLOSURE TO OTHERS IS FORBIDDEN EXCEPT BY SPECIFIC WRITTEN PERMISSION FROM NYLOPLAST.</p>	<p>DRAWN BY: EBC DATE: 3-7-06</p> <p>APP'D BY: CJA DATE: 3-7-06</p> <p>DWG NO. 7091-110-230 SCALE: 1:8 SHEET: 1 OF 1</p>	<p>MATERIAL: DUCTILE IRON</p> <p>PROJECT NO. NAME: 15 IN DOME GRATE ASSEMBLY</p> <p>TITLE: 15 IN DOME GRATE ASSEMBLY</p> <p>DWG NO. 7091-110-231 SCALE: 1:8 SHEET: 1 OF 1</p>	<p>3150 VERONA AVE BURBORG, GA 30918 PH: (770) 932-2443 FAX: (770) 932-2499 www.nyloplast.com</p>
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ALL DIMENSIONS IN INCHES UNLESS NOTED OTHERWISE
QUALITY: MATERIAL SHALL CONFORM TO ASTM A536 GRADE 70-50-05
CASTINGS ARE FURNISHED WITH A BLACK PAINT
LOOKING DEVICE AVAILABLE UPON REQUEST SEE DRAWING NO. 7091-110-230

INSPECTION REQUIREMENT DURING CONSTRUCTION

- THE CONTRACTOR SHALL NOTIFY THE DAVIS, MOORE, SHEARON & ASSOC. AT 443-262-9130 THREE (3) DAYS IN ADVANCE OF BEGINNING CONSTRUCTION FOR THE FOLLOWINGS:
- INSTALLATION OF CLOSED STORM DRAIN SYSTEMS:
 - DURING EXCAVATION TO SUBGRADE
 - DURING PLACEMENT OF PIPES
 - DURING CONSTRUCTION OF ANY APPURTENANT CONVEYANCE SYSTEMS
 - DURING COMPLETION OF FINAL GRADING AND ESTABLISHMENT OF PERMANENT STABILIZATION
 - LOCATION, EXCAVATION, CONSTRUCTION AND PLANTING OF STORMWATER MANAGEMENT AREAS
 - DURING EXCAVATION TO SUBGRADE
 - DURING PLACEMENT OF BACKFILL AND PLACEMENT OF UNDERDRAIN SYSTEMS;
 - DURING PLACEMENT OF GRAVEL AND ALL FILTER MEDIA;
 - DURING CONSTRUCTION OF APPURTENANT CONVEYANCE SYSTEMS SUCH AS FLOW DIVERSION STRUCTURES, PRE-FILTERS AND FILTERS, INLETS, OUTLETS, ORIFICES, AND FLOW DISTRIBUTION STRUCTURES; AND
 - UPON COMPLETION OF FINAL GRADING AND ESTABLISHMENT OF PERMANENT STABILIZATION;
 - FINAL LOT GRADING.

B.4.C Specifications for Bioretention

- Materials Specifications

The allowable materials to be used in bioretention area are detailed in Table B.4.1
- Filtering Media or Planting Soil

The soil shall be a uniform mix, free of stones, stumps, roots or other similar objects larger than two inches. No other materials or substances shall be mixed or dumped within the bioretention area that may be harmful to plant growth, or prove a hindrance to the planting or maintenance operations. The planting soil shall be free of Bermuda grass, Quackgrass, Johnson grass, or other noxious weeds as specified under COMAR 15.08.01.05.

The planting soil shall be tested and shall meet following criteria:

 - Soil Component - Loamy Sand or Sandy Loam (USDA Soil Textural Classification)
 - Organic Content - Minimum 10% by dry weight (ASTM D 2974). In general, this can be met with a mixture of loamy sand (60%-65%) and compost (35% to 40%) or sandy loam (30%), coarse sand (30%), and compost (40%).
 - Clay Content - Media shall have a clay content of less than 5%.
 - pH Range - Should be between 5.5 - 7.0. Amendments (e.g., lime, iron sulfate plus sulfur) may be mixed into the soil to increase or decrease pH.

There shall be at least one soil test per project. Each test shall consist of both the standard soil test for pH and additional tests of organic matter, and soluble salts. A textural analysis is required from the site stockpiled topsoil. If topsoil is imported, then a texture analysis shall be performed for each location where the topsoil was excavated.

3. Compaction

It is very important to minimize compaction of both the base of bioretention practices and the required backfill. When possible, use excavation hoes to remove original soil. If practices are excavated using a loader, the contractor should use wide track or marsh track equipment, or light equipment with turf type tires. Use of equipment with narrow tracks or narrow tires, rubber tires with large lugs, or high pressure tires will cause excessive compaction resulting in reduced infiltration rates and is not acceptable. Compaction will significantly contribute to design failure.

Compaction can be alleviated at the base of the bioretention facility by using a primary tilling operation such as a chisel plow, ripper, or subsoiler. These tilling operations are to restructure the soil profile through the 12 inch composition zone. Substitute methods must be approved by the engineer. Rototillers typically do not till deep enough to reduce the effects of compaction from heavy equipment.

Rototill 2 to 3 inches of sand into the base of the bioretention facility before backfilling the optional sand layer. Pump any ponded water before preparing (rototilling) base.

When backfilling the topsoil over the sand layer, first place 3 to 4 inches of topsoil over the sand, then rototill the sand/topsoil to create a gradation zone. Backfill the remainder of the topsoil to final grade.

When backfilling the bioretention facility, place soil in lifts 12" to 18". Do not use heavy equipment within the bioretention basin. Heavy equipment can be used around the perimeter of the basin to supply soils and sand. Grade bioretention materials with light equipment such as a compact loader or a dozer/loader with marsh tracks.

4. Plant Material

See Landscape Plans.

5. Plant Installation

Compost is a better organic material source, is less likely to float, and should be placed in the invert and other low areas. Mulch should be placed in surrounding to a uniform thickness of 2" to 3". Shredded or chipped hardwood mulch is the only accepted mulch. Pine mulch and wood chips will float and move to the perimeter of the bioretention area during a storm event and are not acceptable. Shredded mulch must be well aged (6 to 12 months) for acceptance.

Rootstock of the plant materials shall be kept moist during transport and on-site storage. The plant root ball should be planted so 1/8th of the ball is above final grade surface. The diameter of the planting pit shall be at least six inches larger than the diameter of the planting ball. Set and maintain the plant straight during the entire planting process. Thoroughly water ground bed cover after installation.

Trees shall be braced using 2" by 2" stakes only as necessary and for the first growing season only. Stakes are to be equally spaced on the outside of the tree ball.

Grasses and legume seed should be drilled into the soil to a depth of at least one inch. Grass and legume plugs shall be planted following the non-grass ground cover planting specifications.

The topsoil specifications provide enough organic material to adequately supply nutrients from natural cycling. The primary function of the bioretention structure is to improve water quality. Adding fertilizers, de-fats, or at a minimum, impedes this goal; only add fertilizer if wood chips or mulch are used to amend the soil. Rototill urea fertilizer at a rate of 2 pounds per 1000 square feet.

6. Underdrains

Underdrains should meet the following criteria (See profiles for modifications to specifications below):

- Pipe-Should be 4" to 6" diameter, slotted or perforated rigid plastic pipe (ASTM F 758, Type PS 28, or AASHTO-M-278) in a gravel layer. The preferred material is slotted, 4" rigid pipe (e.g., PVC or HDPE).
- Perforations-If perforated pipe is used, perforations should be ?? diameter located 6" on center with a minimum of four holes per row. Pipe shall be wrapped with a 1/4" (No. 4 or 4x4) galvanized hardware cloth.
- Gravel-The gravel layer (No. 57 stone preferred) shall be at least 3" thick above and below the underdrain.
- The main collector pipe shall be at a minimum 0.5% slope.
- A rigid, non-perforated observation well must be provided (one per every 1,000 square feet) to provide a clean-out port and monitor performance of the filter.
- A 4" layer of pea gravel (1/8" to 3/8" stone) shall be located between the filter media and underdrain to prevent migration of fines into the underdrain. This layer may be considered part of the filter bed when bed thickness exceeds 24".

The main collector pipe for underdrain systems shall be constructed at a minimum slope of 0.5%. Observation wells and/or clean-out pipes must be provided (one minimum per every 1000 square feet of surface area).

7. Miscellaneous

The bioretention facility may not be constructed until all contributing drainage area has been stabilized.

BIORETENTION MAINTENANCE SCHEDULE

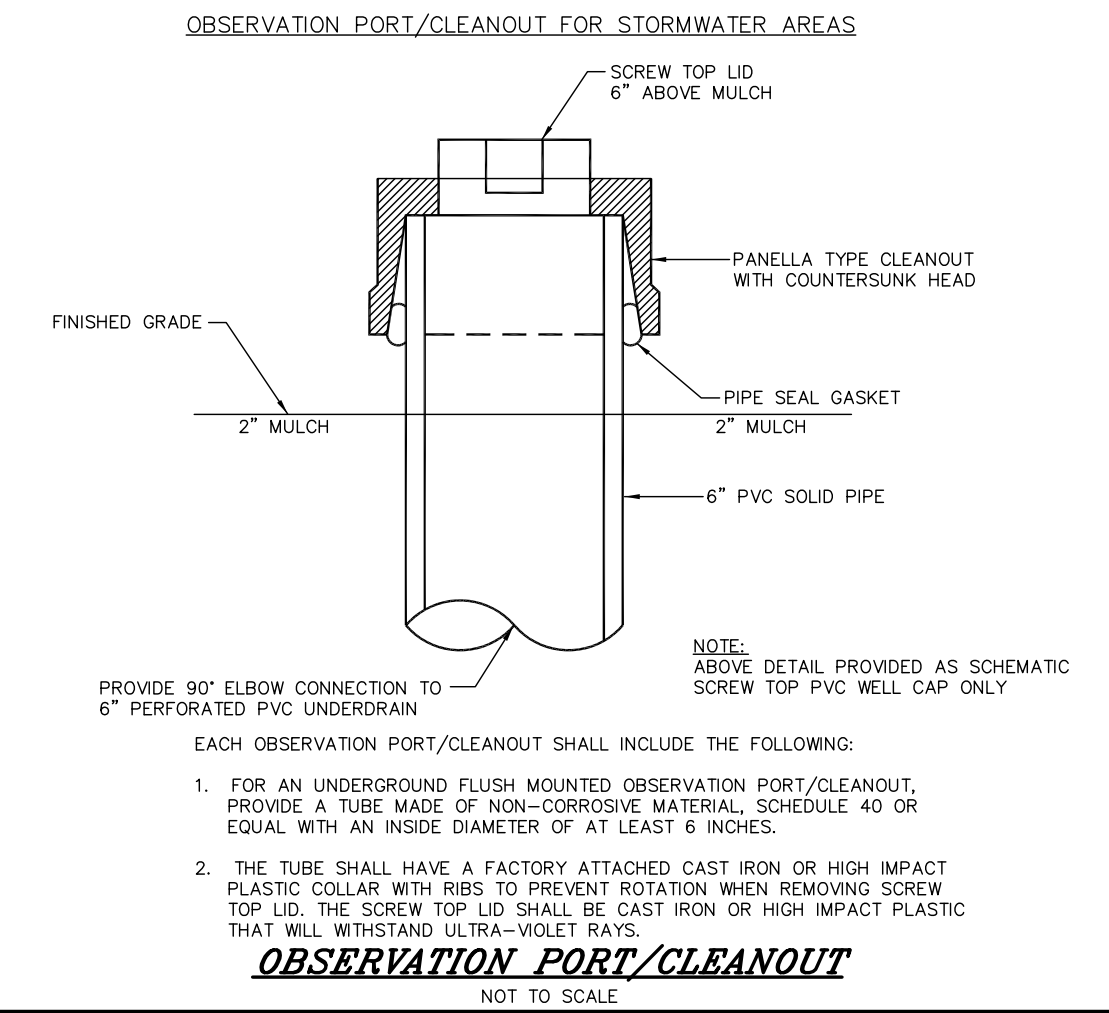
DESCRIPTION	METHOD	FREQUENCY	TIME OF THE YEAR
SOIL			
INSPECT AND REPAIR EROSION, RESEED	VISUAL	MONTHLY	MONTHLY
ORGANIC LAYER			
TOPSOIL MEDIA SHALL BE REMOVED AND REPLACED WHEN PONDING DRAWDOWN EXCEEDS 48 HOURS	VISUAL	AFTER MAJOR STORM EVENTS	WHENEVER NEEDED
PLANTS			
REMOVAL AND REPLACEMENT OF ALL DEAD AND DISEASED VEGETATION CONSIDERED BEYOND TREATMENT	SEE PLANTING SPECS.	TWICE A YEAR	3/15 to 4/30 AND 10/1 to 11/30
INSPECT FOR DISEASE/PEST PROBLEMS	VISUAL	ONCE A MONTH (AVERAGE)	INSPECT MORE FREQUENTLY IN WARMER MONTHS
DETERMINE IF TREATMENT IS WARRANTED. USE LEAST TOXIC TREATMENT APPROACH	BY HAND	N/A	VARIES, DEPENDS ON DISEASE OR INSECT INFESTATION
WATERING OF PLANT MATERIAL SHALL TAKE PLACE FOR FOURTEEN CONSECUTIVE DAYS AFTER PLANTING HAS BEEN COMPLETED UNLESS THERE IS SUFFICIENT NATURAL RAINFALL	BY HAND	IMMEDIATELY AFTER COMPLETION OF PROJECT	N/A

MATERIAL SPECIFICATIONS FOR BIORETENTION

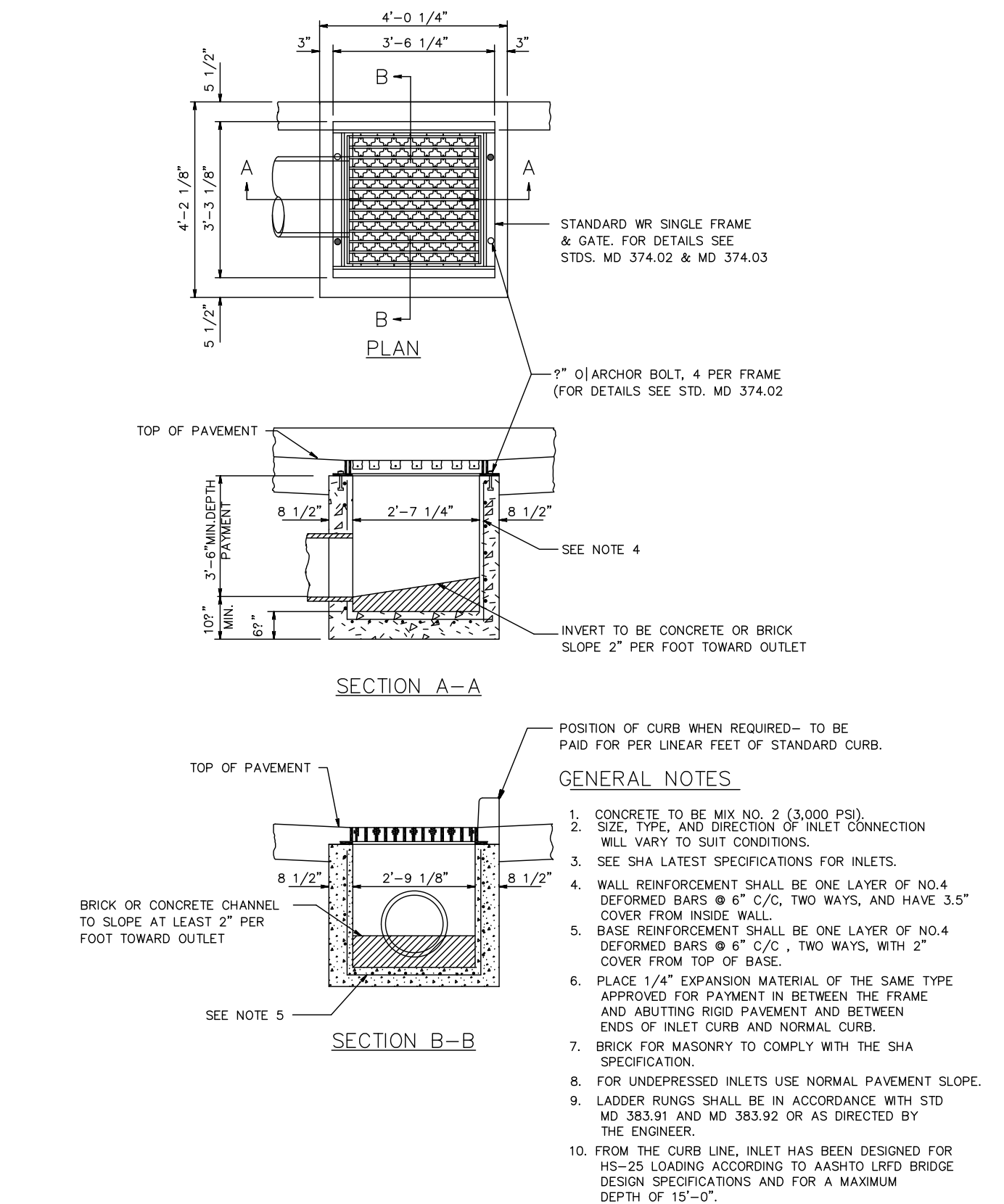
MATERIAL	SPECIFICATION	SIZE	NOTES
PLANTINGS	SEE LANDSCAPE PLANS	SEE PLAN	PLANTINGS ARE SITE-SPECIFIC - SEE LANDSCAPE PLAN
PLANTINGS SOILS (2' to 4' DEEP)	LOAMY SAND (60% to 65%) & COMPOST (35% to 40%) or SANDY LOAM (30%), COARSE SAND (30%) & COMPOST (40%)	N/A	USDA SOIL TYPES LOAMY SAND OR SANDY LOAM; CLAY CONTENT < 5%
ORGANIC CONTENT	Min. 10% BY DRY WEIGHT (ASTM D 2974)		
PEA GRAVEL DIAPHRAGM	PEA GRAVEL; ASTM-D-448	No. 8 or No. 9 (1/8" to 3/8")	
CURRENT DRAIN	ORNAMENTAL STONE; WASHED COBBLES	STONE: 2" to 5"	
GEOTEXTILE	SEE APPENDIX A, TABLE A.4	N/A	PE TYPE 1 NONWOVEN
GRAVEL (UNDERDRAINS AND INFILTRATION BERMS)	AASHTO M-43	No. 57 or No. 6 AGGREGATE (3/8" to 3/4")	
UNDERDRAIN PIPING	F 758, TYPE PS 28 or AASHTO M-278	4" to 6" RIGID (SCH-40) PVC or SDR-35	SLOTTED OR PERFORATED PIPE: 3/8" PERFOR. Ø 6" ON CENTER, 4 HOLES PER ROW; MINIMUM OF 3" OF GRAVEL OVER PIPES; NOT NECESSARY UNDERNEATH PIPES. PERFORATED PIPE SHALL BE WRAPPED WITH 1/4" GALVANIZED HARDWARE CLOTH
POURED IN PLACE CONCRETE (IF REQUIRED)	MSHA MIX No. 3, f _c = 3500 psi @ 28 DAYS, NORMAL WEIGHT, AIR-ENTRAINED, REINFORCING TO MEET ASTM-615-60	N/A	ON-SITE TESTING OF POURED-IN-PLACE CONCRETE REQUIRED: 28 DAY STRENGTH AND SLUMP TEST; ALL CONCRETE DESIGN (CAST-IN-PLACE OR PRE-CAST) NOT USING PREVIOUSLY APPROVED STATE OR LOCAL STANDARDS REQUIRES DESIGN DRAWINGS SEALED AND APPROVED BY A PROFESSIONAL STRUCTURAL ENGINEER LICENSED IN THE STATE OF MARYLAND DESIGN TO INCLUDE MEETING ACI CODE 308R/89, VERTICAL LOADING (H=10 OR H=20), ALLOWABLE HORIZONTAL LOADING (BASED ON SOIL PRESSURES); AND ANALYSIS OF POTENTIAL CRACKING
SAND	AASHTO M-6 or ASTM-C-33	0.02" to 0.04"	SAND SUBSTITUTIONS SUCH AS DIABASE AND GRAYSTONE (AASHTO #10 ARE NOT ACCEPTABLE; NO CALCIUM CARBONATE) OR DOLOMITE SAND SUBSTITUTION ARE ACCEPTABLE. NO "ROCK DUST" CAN BE USED FOR SAND

STORMWATER MANAGEMENT SUMMARY TABLE

REQUIREMENT	VOLUME REQ.	VOLUME PRO.	NOTES
ESDv	559 cubic ft.	831 cubic ft.	MICRO-BIORETENTION AREA
RECHARGE (Rev)	117 cubic ft.	87 cubic ft.	MICRO-BIORETENTION AREA
CHANNEL PROTECTION (Cpv)	N/A	N/A	ESD TO THE MEP MET, THIS SITE IS CONSIDERED WOODS IN GOOD CONDITION
EXTREME FLOOD (Qf)	N/A	N/A	ESD TO THE MEP MET, THIS SITE IS CONSIDERED WOODS IN GOOD CONDITION



- GENERAL NOTES**
- CONCRETE TO BE MIX NO. 2 (3,000 PSI)
 - SIZE, TYPE, AND DIRECTION OF INLET CONNECTION WILL VARY TO SUIT CONDITIONS.
 - SEE SHA LATEST SPECIFICATIONS FOR INLETS.
 - WALL REINFORCEMENT SHALL BE ONE LAYER OF NO. 4 DEFORMED BARS @ 6" C/C, TWO WAYS, AND HAVE 3/2" COVER FROM INSIDE WALL.
 - BASE REINFORCEMENT SHALL BE ONE LAYER OF NO. 4 DEFORMED BARS @ 6" C/C, TWO WAYS, WITH 2" COVER FROM TOP OF BASE.
 - PLACE 1/4" EXPANSION MATERIAL OF THE SAME TYPE APPROVED FOR PAYMENT IN BETWEEN THE FRAME AND ABUTTING ROAD PAVEMENT AND BETWEEN ENDS OF INLET CURB AND NORMAL CURB.
 - BRICK FOR MASONRY TO COMPLY WITH THE SHA SPECIFICATION.
 - FOR UNDEPRESSED INLETS USE NORMAL PAVEMENT SLOPE.
 - LADDER RUNGS SHALL BE IN ACCORDANCE WITH STD MD 383.91 AND MD 383.92 OR AS DIRECTED BY THE ENGINEER.
 - FROM THE CURB LINE, INLET HAS BEEN DESIGNED FOR HS-25 LOADING ACCORDING TO AASHTO LRFD BRIDGE DESIGN SPECIFICATIONS AND FOR A MAXIMUM DEPTH OF 15'-0".



SPECIFICATION 305	CATEGORY CODE ITEMS	<p>Maryland Department of Transportation STATE HIGHWAY ADMINISTRATION STANDARDS FOR HIGHWAYS AND INCIDENTAL STRUCTURES</p>
APPROVED	DIRECTOR - OFFICE OF HIGHWAY DEVELOPMENT	
<p>SHA State Highway Administration</p>	APPROVAL 3-5-75	REVISION 5-22-75
	REVISION 10-1-01	REVISION 2-24-88
	REVISION 10-7-14	REVISION 9-29-14
	REVISION	REVISION
<p>SINGLE WR INLET</p>		<p>STANDARD NO. MD-374.06</p>

KENT COUNTY DEPARTMENT OF PLANNING AND ZONING	KENT COUNTY DEPARTMENT OF PUBLIC WORKS
KENT COUNTY HEALTH DEPARTMENT	KENT SOIL AND WATER CONSERVATION DISTRICT

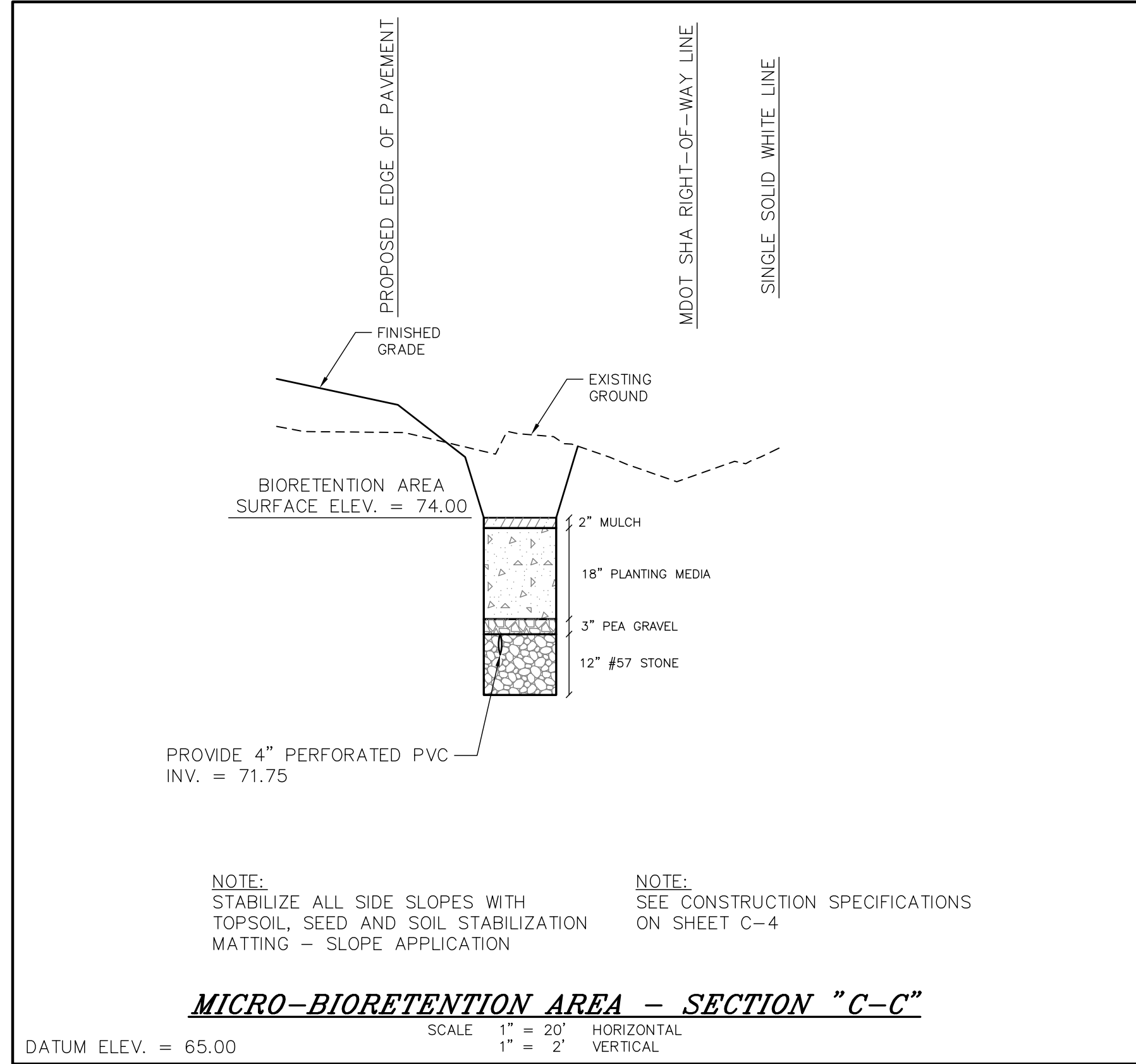
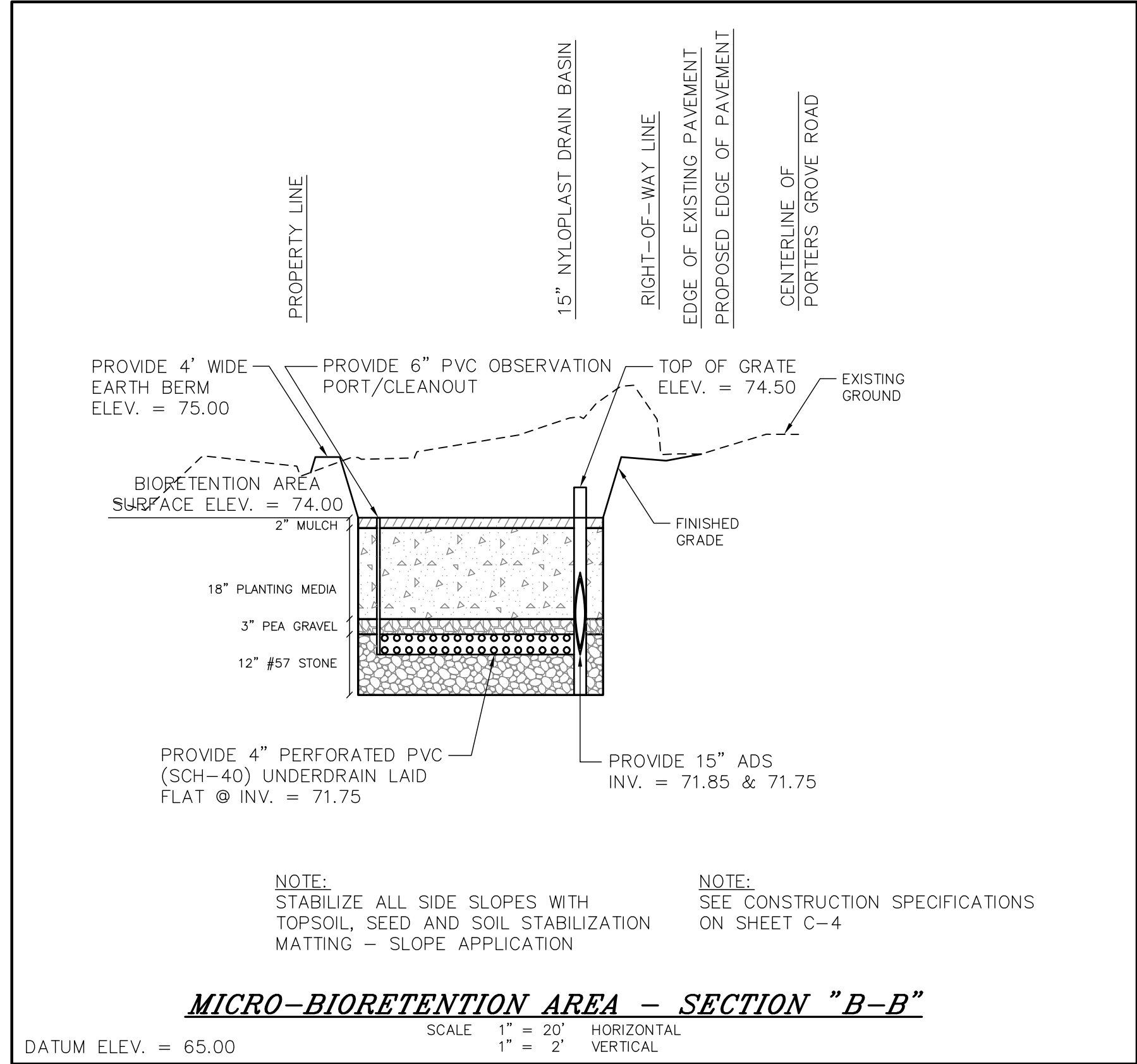
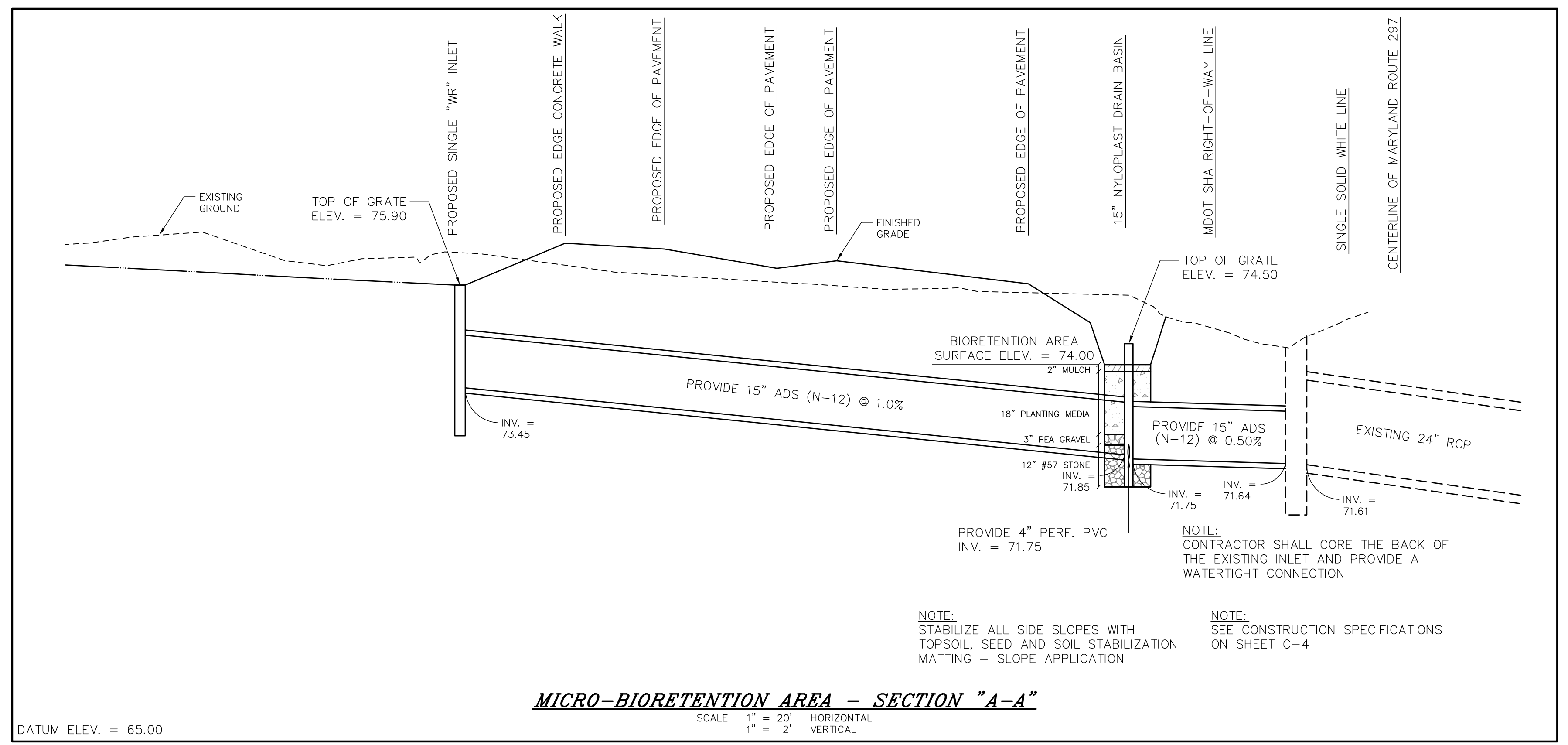
PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DELIC LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 2004099.

DAVIS, MOORE, SHEARON & ASSOCIATES, LLC
ENGINEERING, DRAFTING/DESIGN, ENVIRONMENTAL SERVICES & SURVEYING
P.O. BOX 80
CENTREVILLE, MARYLAND 21617
PHONE: 1-443-262-9130
FAX: 1-443-262-9148

OCTOBER 25, 2024
DATE SEAL

DAVIS, MOORE, SHEARON & ASSOCIATES, LLC
ENGINEERING, DRAFTING/DESIGN, ENVIRONMENTAL SERVICES & SURVEYING
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FAX: 1-443-262-9148

DATE	REVISION	STORMWATER MANAGEMENT DETAILS AND SPECIFICATIONS	DATE	SCALE
10-25-24	PER COMMENTS	ON THE LANDS OF KNR, INC. IN THE VILLAGE OF WORTON TAX MAP - 28, GRID - 1B, PARCEL - 167 THIRD ELECTION DISTRICT, KENT COUNTY, MARYLAND PREPARED FOR : SUNNY DATTA	SEPTEMBER '24	AS SHOWN
			JOB No. 2022049	DRAWN BY WJM
			FOLDER Ref. 28-2022049	DESIGNED BY KJS
			SHEET No. - C-4	
			CADD FILE - 22049-C4	



KENT COUNTY DEPARTMENT OF PLANNING AND ZONING	KENT COUNTY DEPARTMENT OF PUBLIC WORKS
KENT COUNTY HEALTH DEPARTMENT	KENT SOIL AND WATER CONSERVATION DISTRICT

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I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A FULLY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 2004499.

OCTOBER 25, 2024
DATE

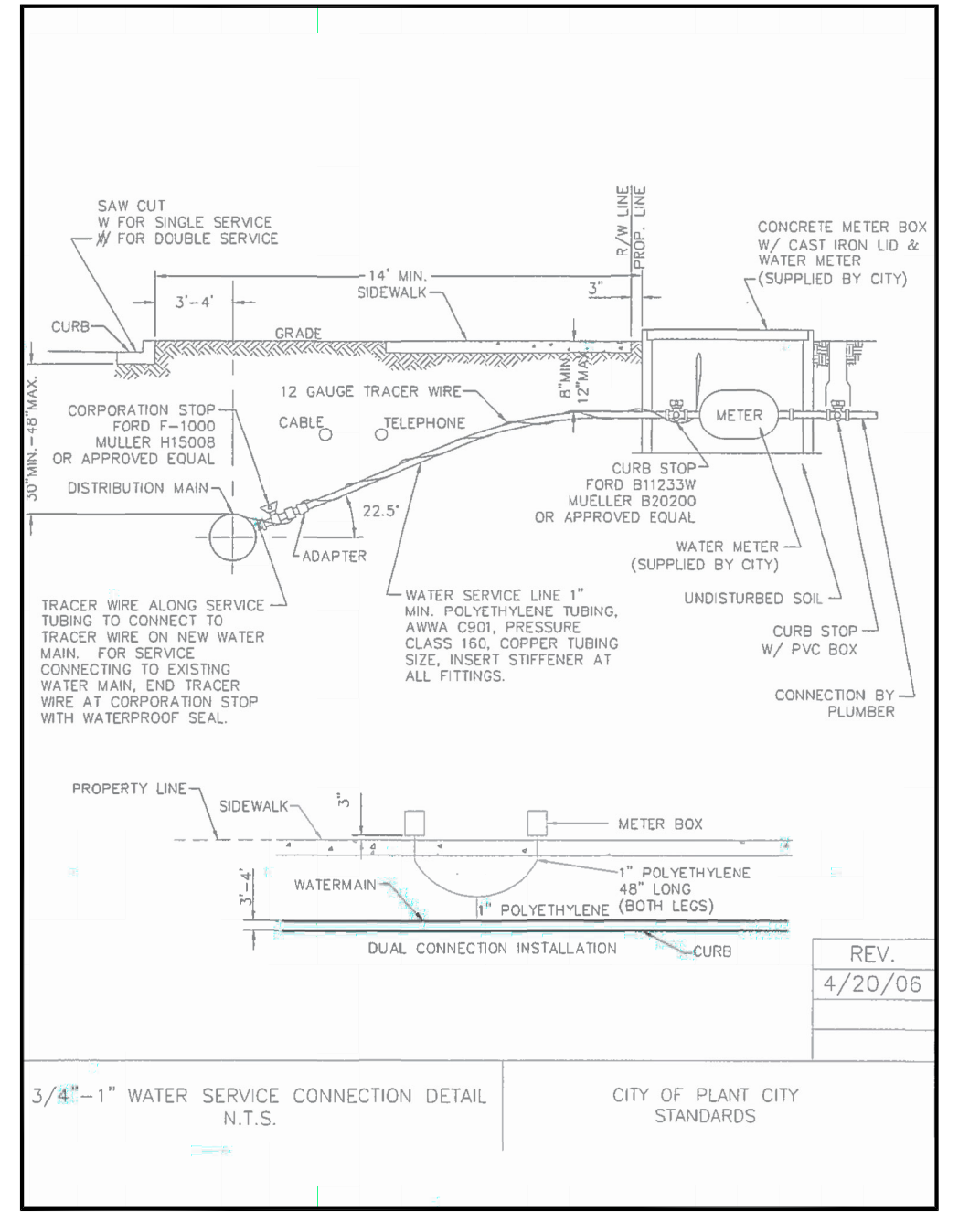
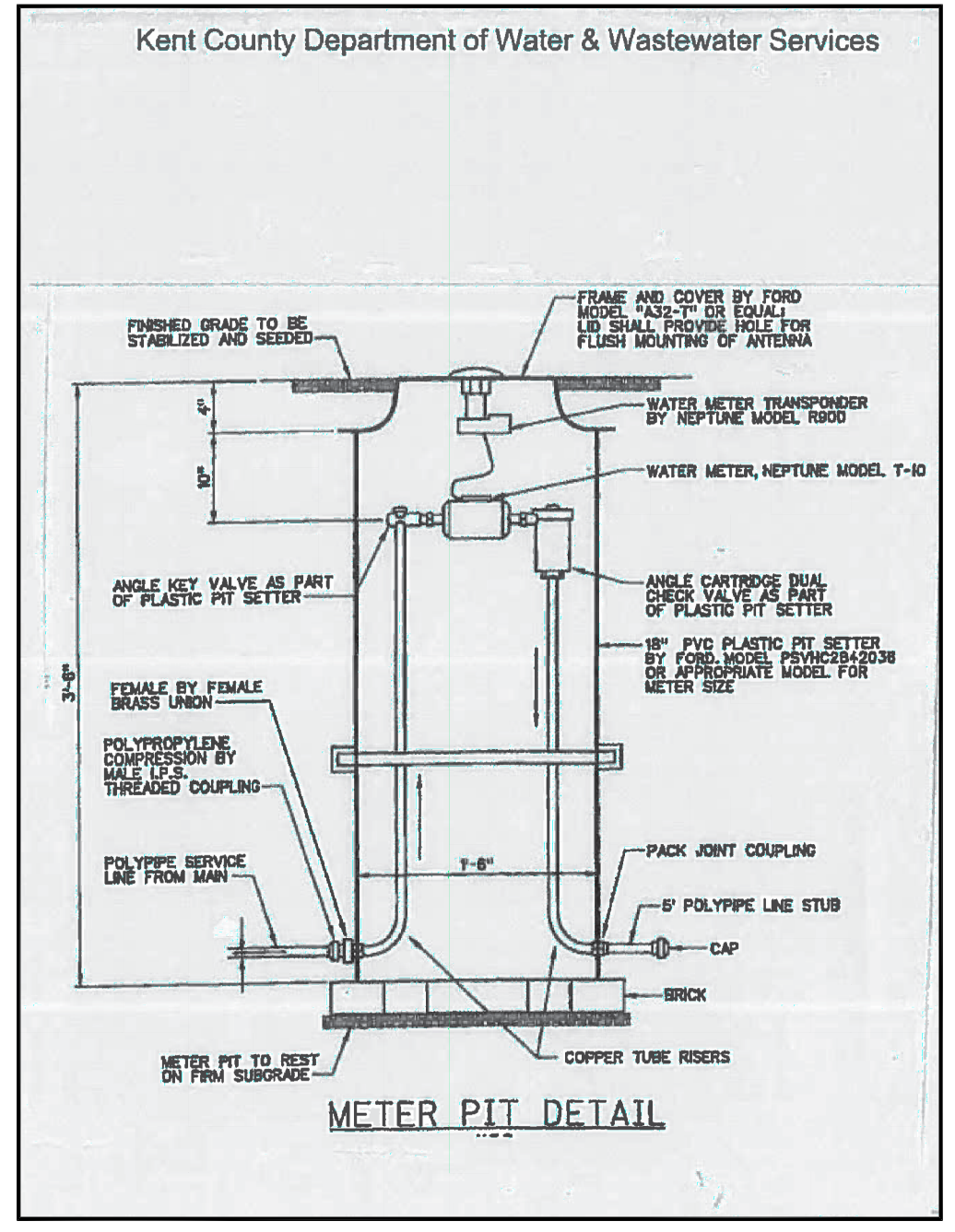
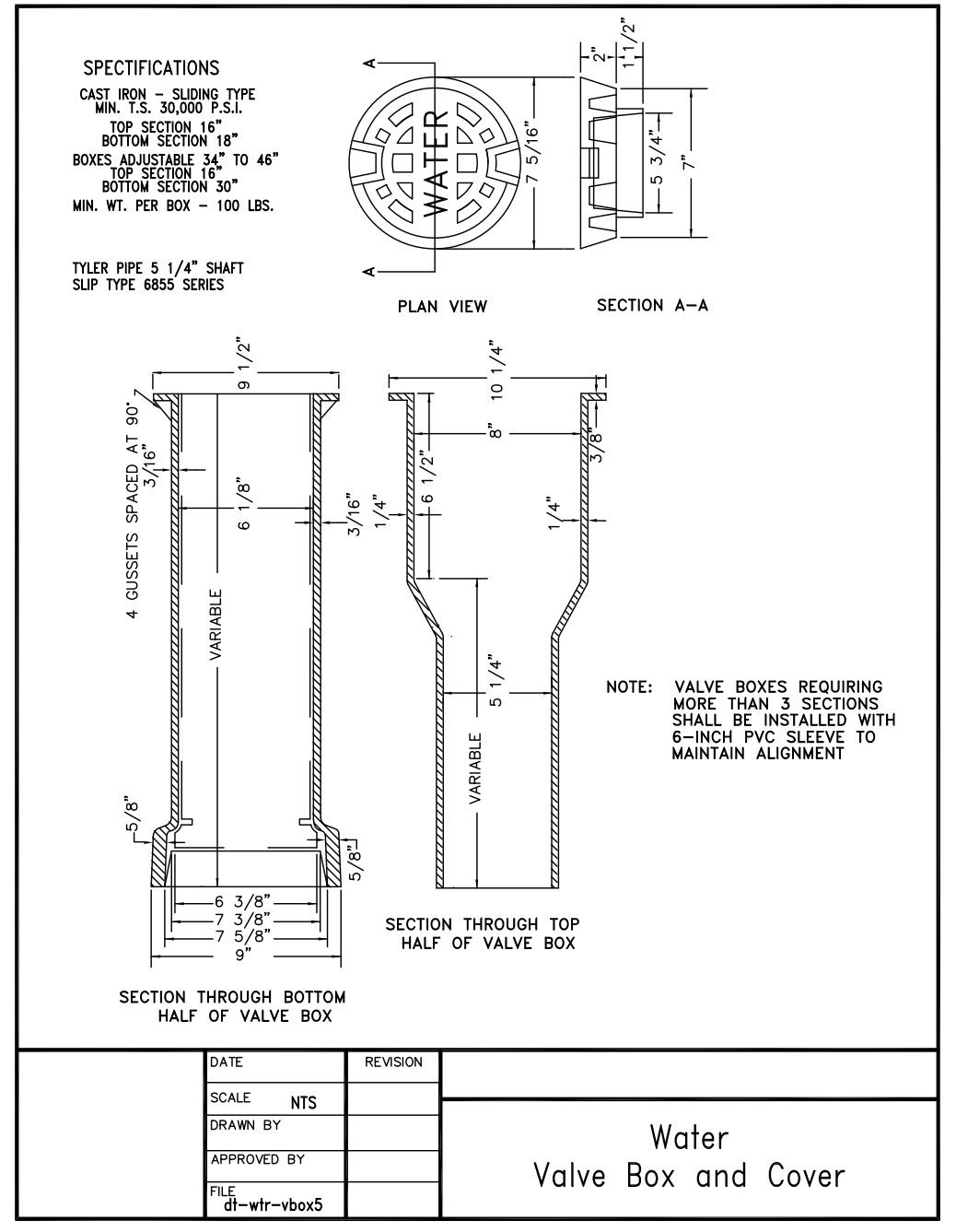
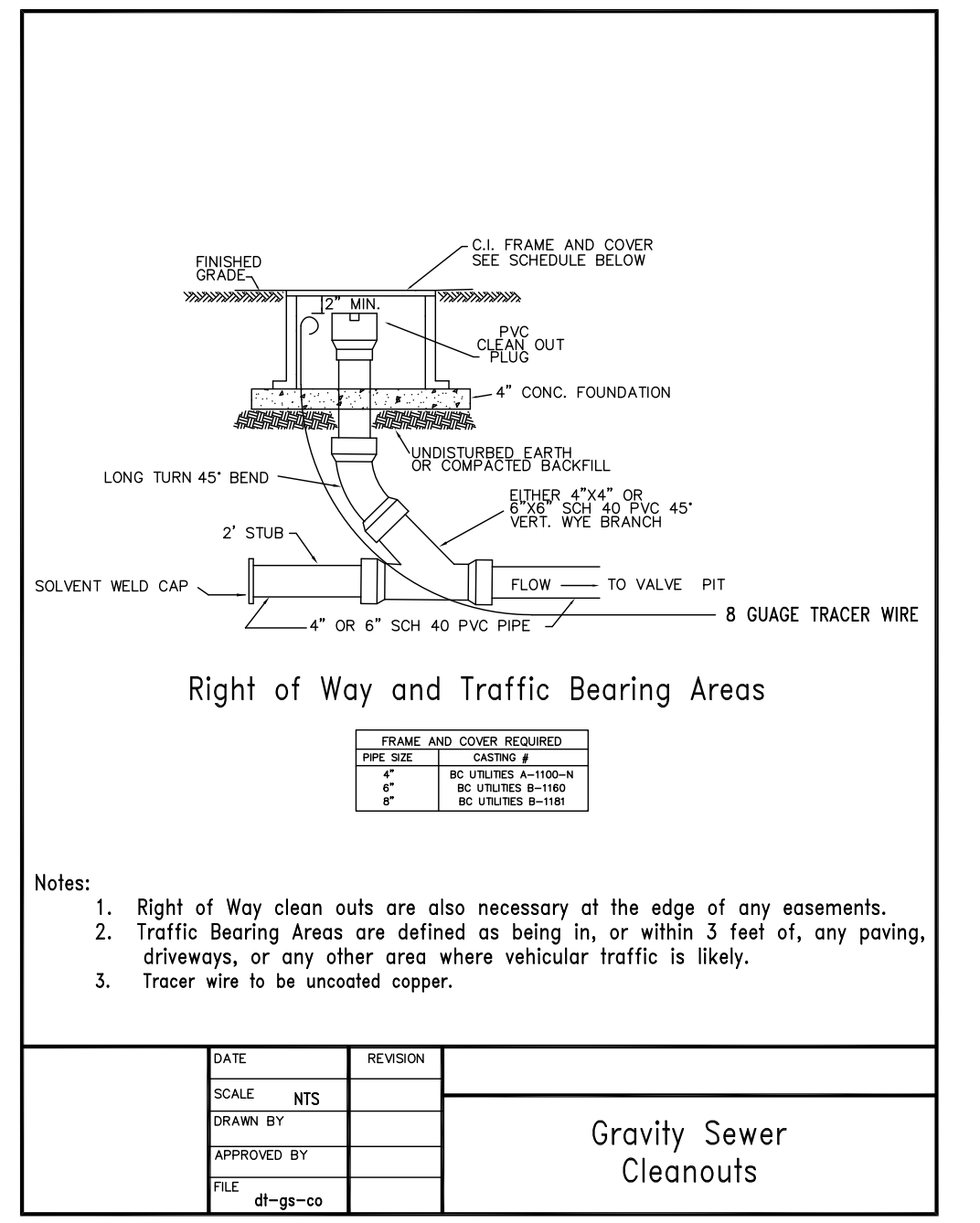
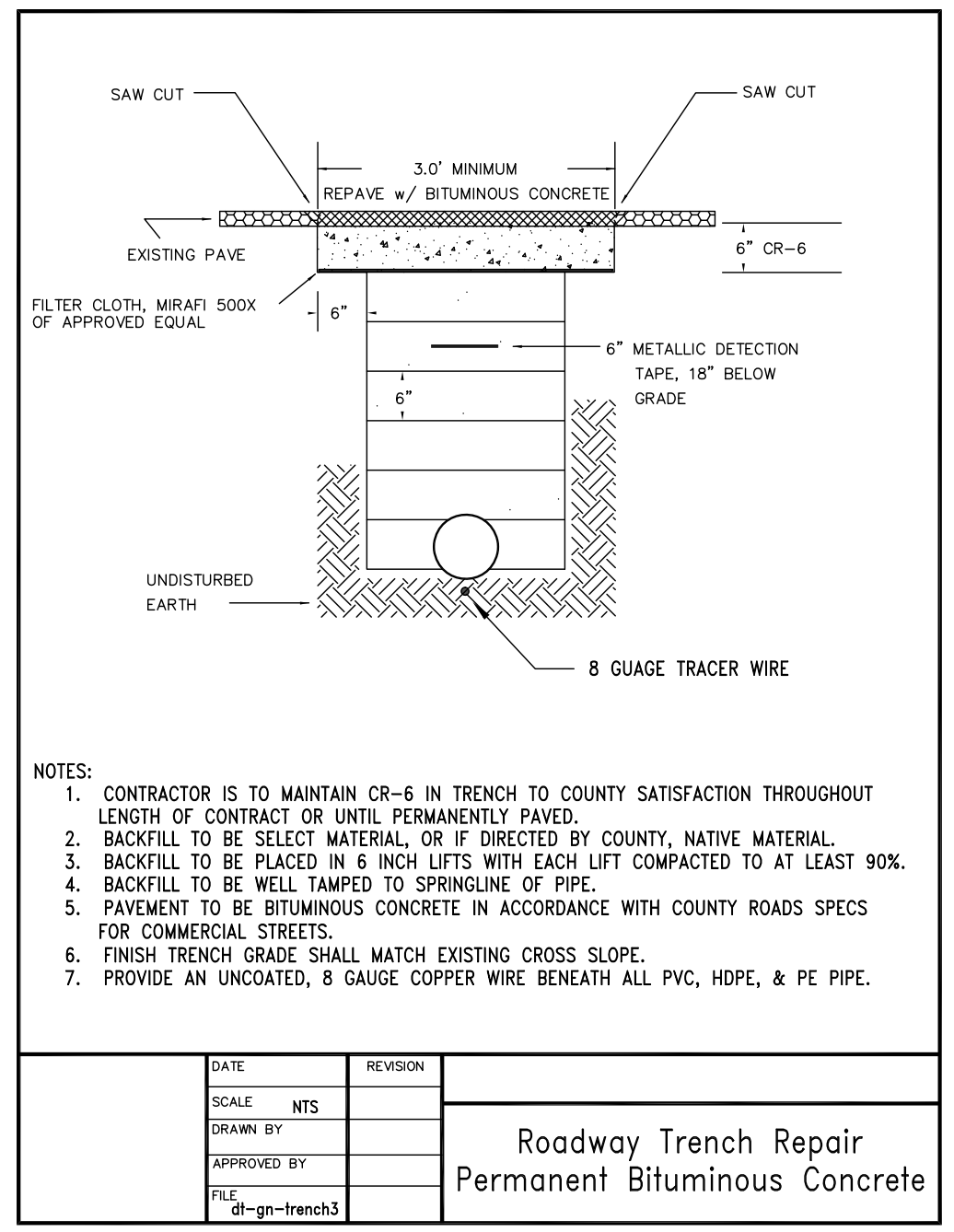
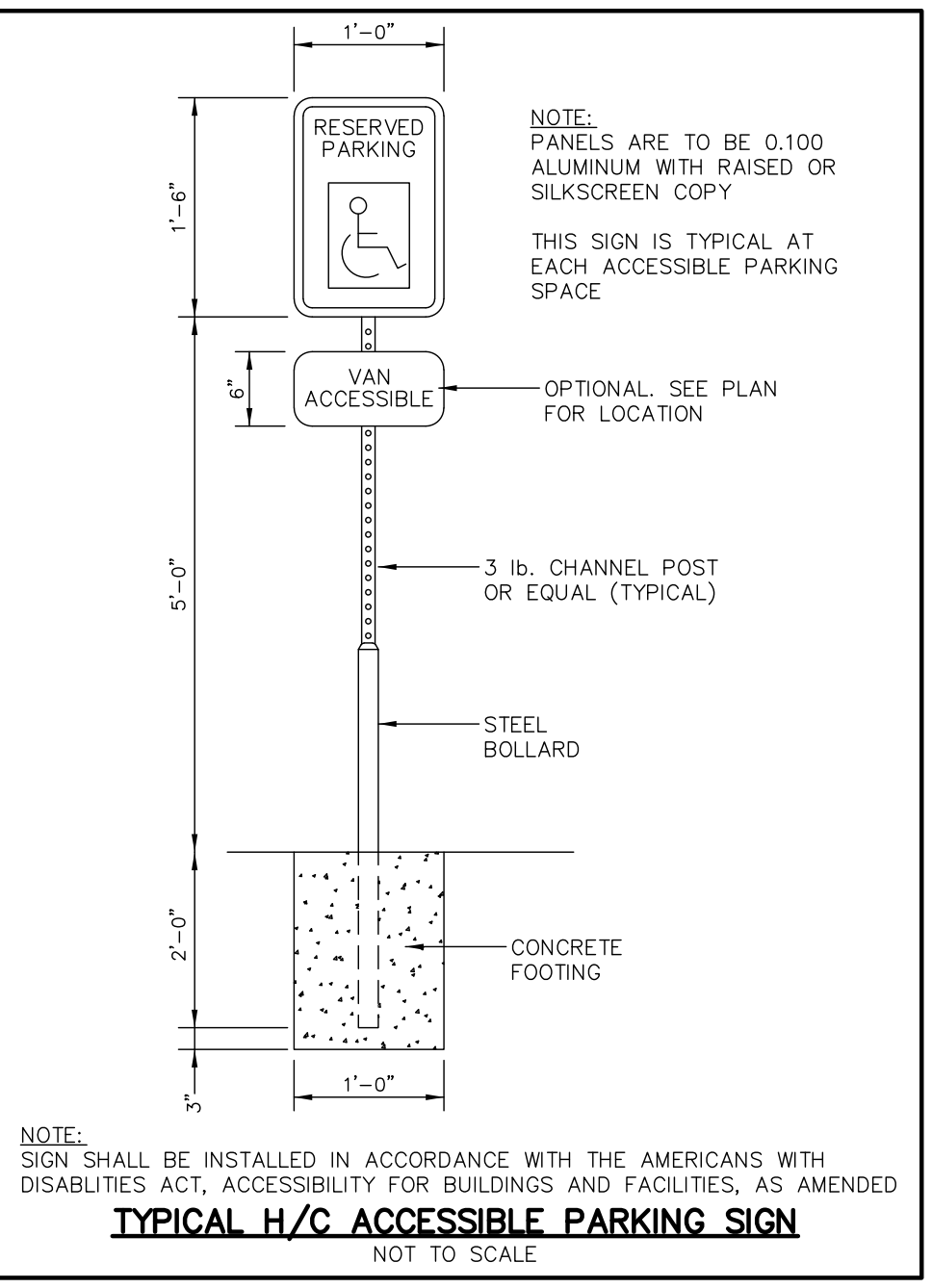
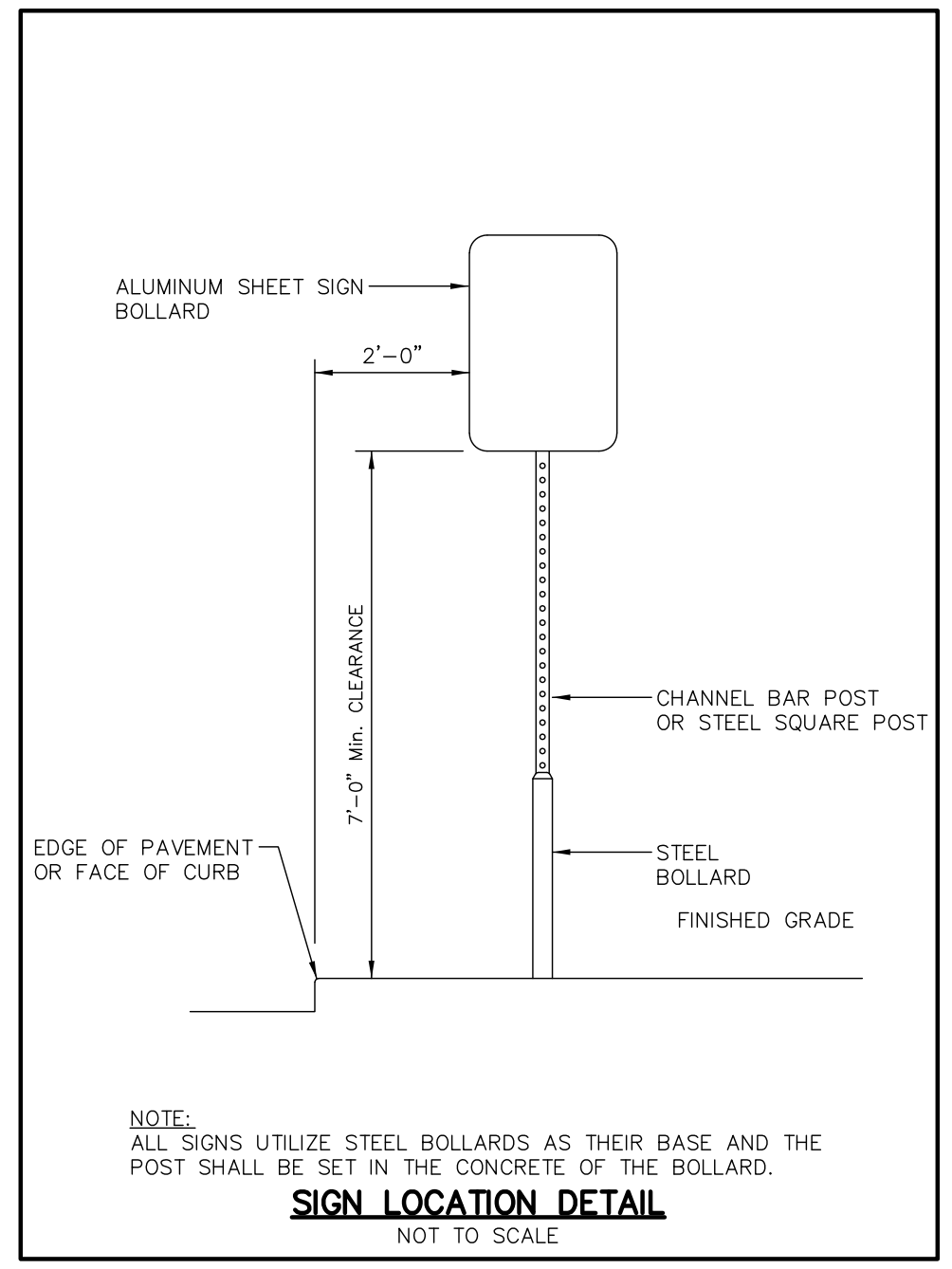
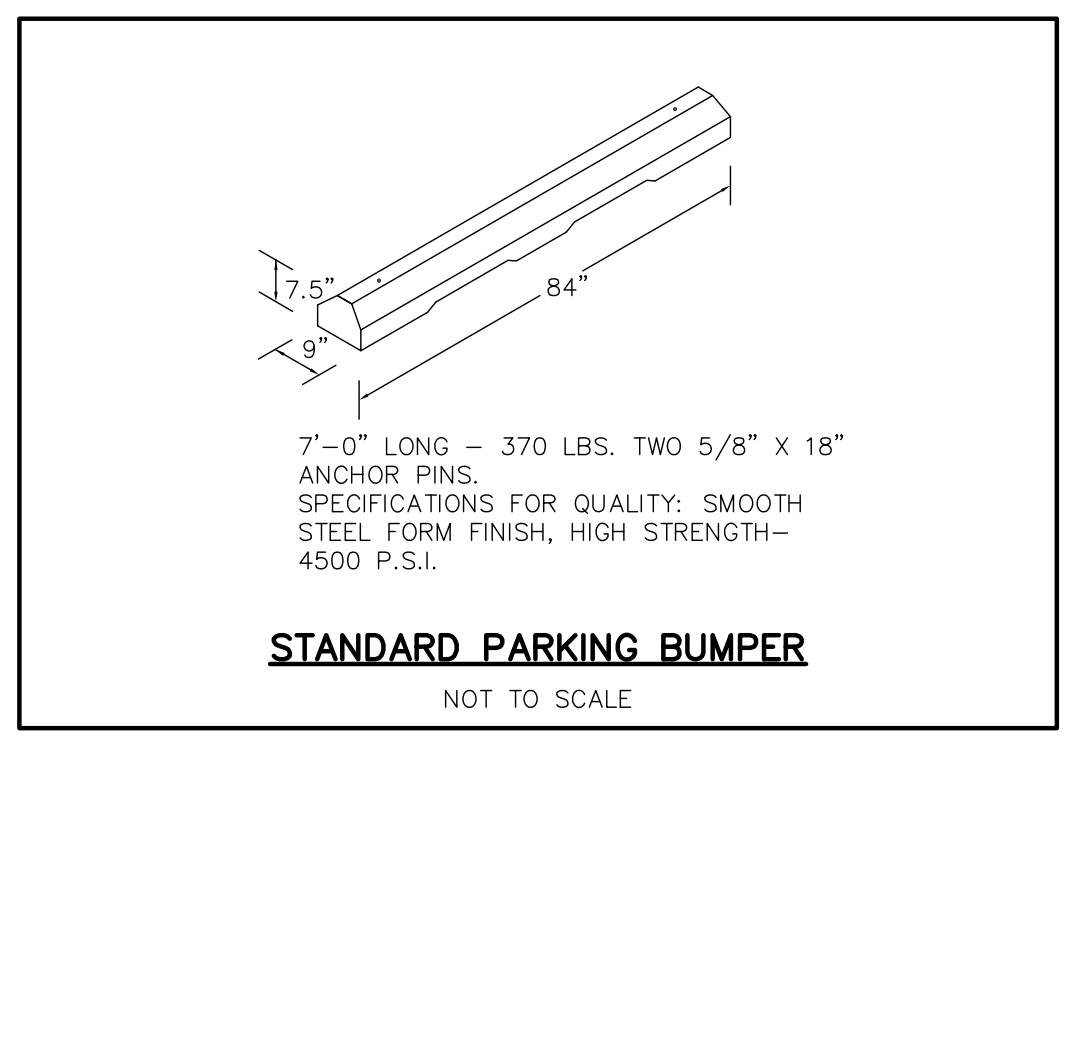
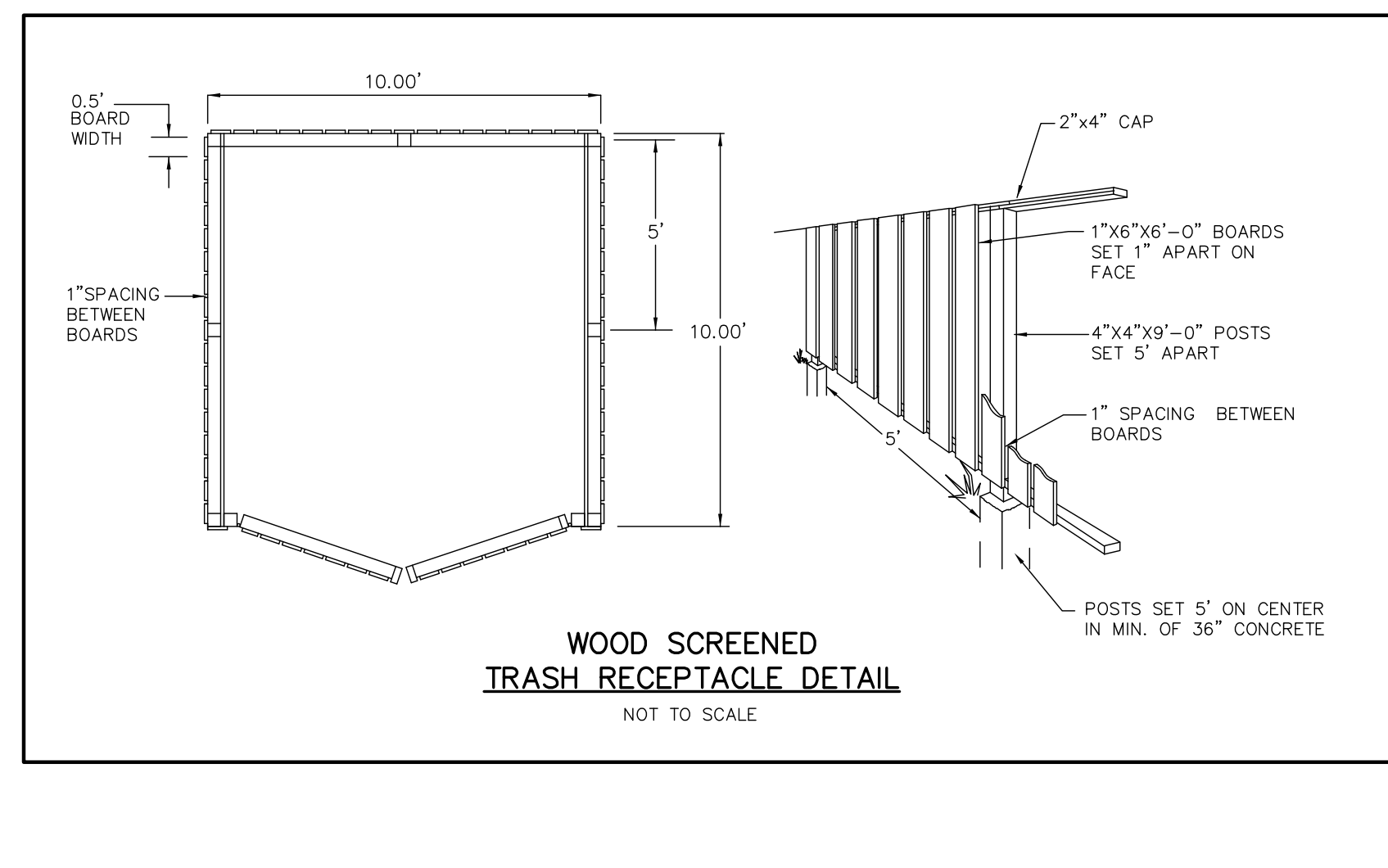
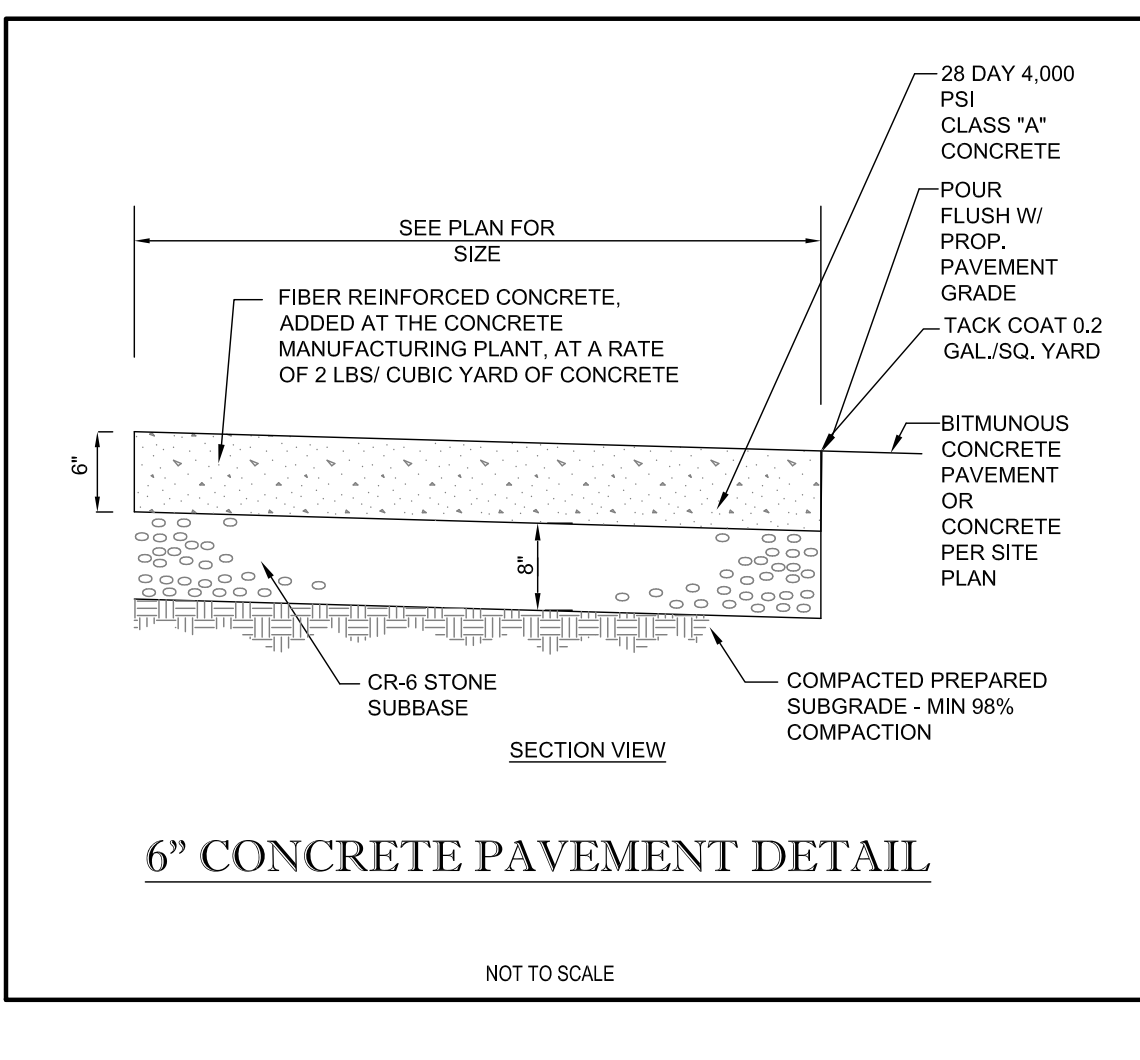
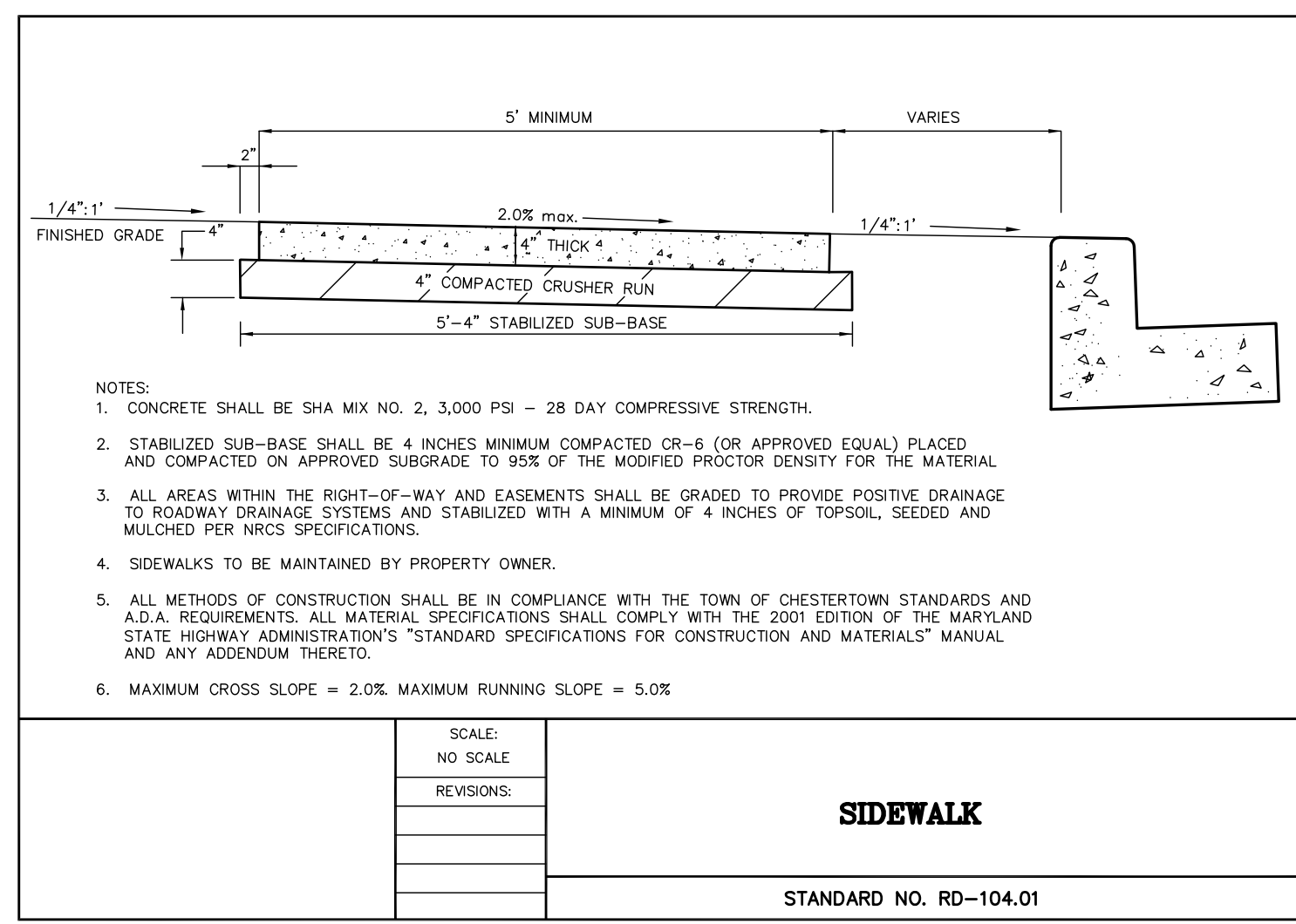
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DATE	REVISION
10-25-24	PER COMMENTS

STORMWATER MANAGEMENT SECTIONS

ON THE LANDS OF
KNR, INC.
IN THE VILLAGE OF WORTON
TAX MAP - 28, GRID - 1B, PARCEL - 167
THIRD ELECTION DISTRICT, KENT COUNTY, MARYLAND
PREPARED FOR : SUNNY DATTA

DATE	SCALE
SEPTEMBER '24	AS SHOWN
JOB No. 2022049	DRAWN BY WJM
FOLDER Ref. 28-2022049	DESIGNED BY KJS
SHEET No. - C-5	
CADD FILE - 22049-C5	



KENT COUNTY DEPARTMENT OF PLANNING AND ZONING	KENT COUNTY DEPARTMENT OF PUBLIC WORKS
KENT COUNTY HEALTH DEPARTMENT	KENT SOIL AND WATER CONSERVATION DISTRICT

PROFESSIONAL CERTIFICATION:
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A FULLY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 2004699

STATE OF MARYLAND

OCTOBER 25, 2024
DATE SEAL

DAVIS, MOORE, SHEARON & ASSOCIATES, LLC

ENGINEERING, DRAFTING/DESIGN, ENVIRONMENTAL SERVICES & SURVEYING

P.O. BOX 80
CENTREVILLE, MARYLAND 21617
PHONE : 1-443-262-9130
FAX : 1-443-262-9148

DATE	REVISION
10-25-24	PER COMMENTS

SITE DETAILS

ON THE LANDS OF
KNR, INC.

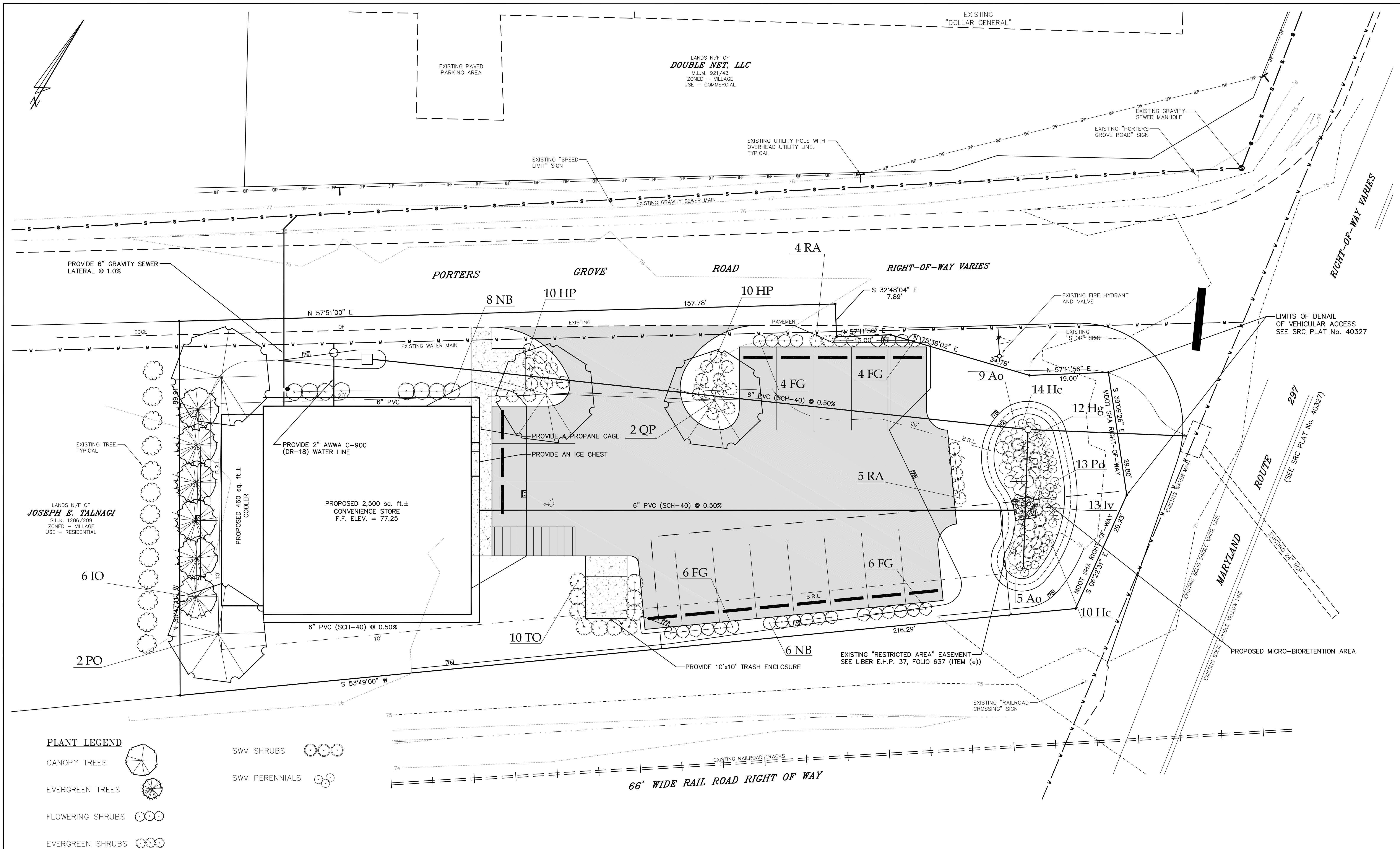
IN THE VILLAGE OF WORTON

TAX MAP - 28, GRID - 1B, PARCEL - 167

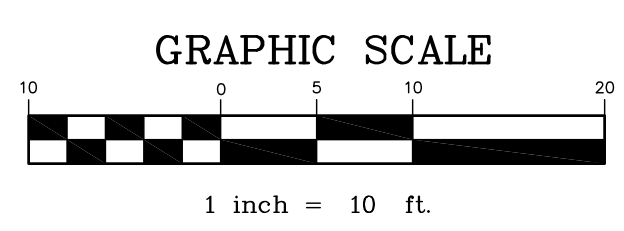
THIRD ELECTION DISTRICT, KENT COUNTY, MARYLAND

PREPARED FOR : SUNNY DATTA

DATE	SCALE
SEPTEMBER '24	AS SHOWN
JOB No. 2022049	DRAWN BY WJM
FOLDER Ref. 28-2022049	DESIGNED BY KJS
SHEET No. - C-6	
CADD FILE - 22049-C6	



- PLANT LEGEND**
- CANOPY TREES
 - EVERGREEN TREES
 - FLOWERING SHRUBS
 - EVERGREEN SHRUBS
 - SWM SHRUBS
 - SWM PERENNIALS



REVIEWED FOR THE KENT SOIL AND WATER CONSERVATION DISTRICT AND MEETS TECHNICAL REQUIREMENTS

KENT SOIL AND WATER CONSERVATION DISTRICT _____ DATE _____

KENT SOIL AND WATER CONSERVATION DISTRICT RESERVES THE RIGHT TO ADD, DELETE, MODIFY OR OTHERWISE ALTER THE EROSION CONTROL PROVISIONS OF THIS PLAN IN THE EVENT ADDITIONAL PROTECTION BECOMES NECESSARY.

KENT COUNTY DEPARTMENT OF PLANNING AND ZONING	KENT COUNTY DEPARTMENT OF PUBLIC WORKS	
KENT COUNTY HEALTH DEPARTMENT	KENT SOIL AND WATER CONSERVATION DISTRICT	

OCTOBER 25, 2024
DATE _____ SEAL _____

DAVIS, MOORE, SHEARON & ASSOCIATES, LLC
P.O. BOX 80
CENTREVILLE, MARYLAND 21617

HUSTEAD Landscape Architecture, LLC
120 Bay Meadows Lane Stevensville, MD 21666
Phone : 443.988.2294
E-mail: Vhustead@Husteadla.com Web: www.Husteadla.com

DATE	REVISION
10-25-24	PER COMMENTS

LANDSCAPE PLAN
ON THE LANDS OF
KNR, INC.
IN THE VILLAGE OF WORTON
TAX MAP - 28, GRID - 1B, PARCEL - 167
THIRD ELECTION DISTRICT, KENT COUNTY, MARYLAND
PREPARED FOR : SUNNY DATTA

DATE	SCALE
SEPTEMBER '24	1" = 10'
JOB No. 2022049	DRAWN BY WJM
FOLDER Ref. 28-2022049	DESIGNED BY KJS
SHEET No. - L-1	
CADD FILE - 22049-L1	

LANDSCAPING SPECIFICATIONS

OVERALL COMPLIANCE WITH THE TERMS OF THIS LANDSCAPE PLAN INCLUDING ALL MAINTENANCE AND WARRANTY REQUIREMENTS PRESCRIBED HEREON IS THE RESPONSIBILITY OF THE OWNER/DEVELOPER. MAINTENANCE, WARRANTY AND PLANT MATERIAL SURVIVAL RESPONSIBILITIES OF THE LANDSCAPE CONTRACTOR SHALL BE AS SPECIFICALLY NEGOTIATED BETWEEN OWNER/DEVELOPER AND CONTRACTOR.

ALL WORK SHALL BE ACCOMPLISHED WITH QUALIFIED PERSONNEL, UTILIZING INDUSTRY STANDARD PRACTICES AND TECHNIQUES. THE CONTRACTOR IS RESPONSIBLE FOR THE COMPLETE INSTALLATION OF ALL LANDSCAPING SHOWN OR IMPLIED ON THIS PLAN. PRIOR TO INSTALLATION, THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT OR PLAN PREPARER IF SITE PLANTING CONDITIONS WARRANT RE-DESIGN CONSIDERATION AND VERIFY THE RECEIPT OF MOST CURRENT APPROVED BUFFER MANAGEMENT PLAN.

A. MATERIALS

(1) PLANTS SHALL BE NURSERY GROWN IN ACCORDANCE WITH GOOD HORTICULTURAL PRACTICES, AND GROWN UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT. THEY SHALL HAVE BEEN ROOT PRUNED WITHIN THE LAST TWO YEARS.

THEY SHALL BE SOUND, HEALTHY AND VIGOROUS, WELL BRANCHED AND DENSELY FOLIATED WHEN IN LEAF. THEY SHALL BE FREE OF DISEASE, PEST, EGGS OR LARVAE, AND SHALL HAVE A HEALTHY, DEVELOPED ROOT SYSTEM. TREES AND SHRUBS SHALL NOT BE PRUNED BEFORE DELIVERY. ALL PLANTS WITH A DAMAGED OR CROOKED LEADER OR MULTIPLE LEADERS, ABRASIONS ON THE BARK, SUNSCALD, DISFIGURING KNOTS OR FRESH CUTS OVER 1/2" WILL BE REJECTED. THE OWNER RESERVES THE RIGHT TO HAVE THE PLANT MATERIAL INSPECTED AND TAGGED AT THE GROWING SITE AND TO REJECT ANY DEFICIENT MATERIAL AT THE JOB SITE. THE LANDSCAPE ARCHITECT OR PLAN PREPARER SHALL REJECT ANY AND ALL PLANT MATERIAL THAT DOES NOT MEET SPECIFICATIONS, IS DISEASED, OR IS OTHERWISE UNHEALTHY.

NO CHANGE IN QUANTITY, SIZE, KIND OR QUALITY OF PLANT SPECIFIED WILL BE PERMITTED WITHOUT THE APPROVAL OF THE LANDSCAPE ARCHITECT/DESIGNER. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE PLANT COUNT AND IN ANY INSTANCE WHERE THERE IS A DISCREPANCY BETWEEN THE PLAN VIEW AND THE LANDSCAPE SCHEDULE, THE PLAN VIEW SHALL PRESIDE.

(2) TOPSOIL SHALL BE FERTILE, FRIABLE AND TYPICAL OF THE LOCALITY. IT SHALL BE FREE OF STONES, LUMPS, PLANTS, ROOTS, STICKS AND SHALL NOT BE DELIVERED IN A FROZEN OR MUDDY CONDITION. COMPACTED SOILS THAT CANNOT BE RESTORED TO A REASONABLE PLANTING SOIL SHALL BE REMOVED AND REPLACED WITH FRIABLE NATIVE SOILS.

(3) PLANTING SOIL (BACKFILL MIX) SHALL BE TWO PARTS NATIVE TOPSOIL AND ONE PART LEAF GRO, THOROUGHLY MIXED.

(4) STAKING MATERIALS: GUY WIRE SHALL BE PLIABLE 12 GAUGE GALVANIZED TWISTED TWO STRAND WIRE. HOSE SHALL BE A SUITABLE LENGTH OF TWO-PLY, REINFORCED BLACK RUBBER HOSE 3/4" INCH IN DIAMETER; STAKES SHALL CONFORM TO THE DETAIL ON THIS SHEET.

(5) MULCH: MULCH SHALL BE ORGANIC DOUBLE SHREDDED HARDWOOD BARK FREE OF HERBICIDES, LARGE CHUNKS AND WEEDS AND SEED AND AGED A MINIMUM OF 6 MONTHS.

B. APPLICABLE SPECIFICATIONS AND STANDARDS:

- (1) "STANDARDIZED PLANT NAMES," LATEST EDITION AMERICAN JOINT COMMITTEE ON HORTICULTURAL NOMENCLATURE.
- (2) "AMERICAN STANDARD FOR NURSERY STOCK," LATEST EDITION, AMERICAN ASSOCIATION OF NURSERYMEN.

C. PRE-DELIVERY DIGGING AND HANDLING OF PLANT MATERIALS:

(1) IMMEDIATELY BEFORE DIGGING, SPRAY ALL EVERGREEN OR DECIDUOUS PLANT MATERIAL IN FULL LEAF WITH ANTI-DESICCANT, APPLYING AN ADEQUATE FILM OVER TRUNKS, BRANCHES, TWIGS, AND/OR FOLIAGE.

(2) DIG BALL AND BURLAP (B&B) PLANTS WITH FIRM NATURAL BALLS OF EARTH, OF DIAMETER NOT LESS THAN THAT RECOMMENDED BY AMERICAN STANDARD FOR NURSERY STOCK, AND OF SUFFICIENT DEPTH TO INCLUDE THE FIBROUS AND FEEDING ROOTS. PLANTS MOVED WITH A BALL WILL NOT BE ACCEPTED IF THE BALL IS CRACKED OR BROKEN BEFORE OR DURING PLANTING OPERATIONS.

(3) THE LANDSCAPE CONTRACTOR SHALL PLAN DELIVERY AND PLANT INSTALLATION TO MINIMIZE STRESS ON PLANT MATERIAL. MATERIAL TO BE STAGED ON OR OFF THE JOB SITE SHALL BE LOCATED TO MAXIMIZE PROTECTION FROM HOT SUN AND DRYING WINDS AND SHALL BE WATERED TO MAINTAIN A STRESS FREE CONDITION. THE LACK OF AVAILABLE WATER SHALL NOT RELIEVE THE CONTRACTOR OF ADEQUATE MAINTENANCE.

D. SITE PREPARATION:

PLANTING AREAS THAT HAVE BEEN IN CONSISTENT AGRICULTURAL PRODUCTION SHALL BE PLANTED WITH NO OTHER REQUIRED SITE PREPARATION.

PLANTING AREAS THAT ARE VEGETATED AND STABLE WITH MINIMAL WEEDS SHALL BE MOWED TO 8" OR AS REQUIRED FOR PLANTING OR SEEDLING INSTALLATION.

E. EXCAVATION OF PLANTING AREAS:

THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO COMMENCING WORK. COORDINATE WITH OTHER CONTRACTORS ON SITE AND MISS UTILITY TO VERIFY UTILITY LOCATIONS. ANY REPAIRS TO EXISTING UNDERGROUND UTILITIES REQUIRED AS A RESULT OF ACTIONS OF THE CONTRACTOR AND/OR HIS ASSIGNS SHALL BE BORNE BY THE CONTRACTOR.

STAKE OUT ON THE GROUND LOCATIONS FOR PLANTS AND OUTLINES OF AREA TO BE PLANTED AND OBTAIN APPROVAL OF THE LANDSCAPE ARCHITECT/DESIGNER BEFORE EXCAVATION IS BEGUN. CONTRACTOR IS TO CAUTIOUSLY TEST PIT AREAS WHERE UNDERGROUND UTILITIES (ELECTRIC, GAS, CABLE/COMMUNICATIONS LINES, WATER LINES, SEWER, ROOF LEADERS, STORM DRAIN PIPE, ETC.) ARE SUSPECTED TO EXIST AND WHERE PROPOSED TO BE PLACED ACCORDING TO PLAN TO AVOID ANY DAMAGE OR DISRUPTIONS TO SERVICES. DO NOT PLACE PLANTS DIRECTLY OVER ANY EXISTING UNDERGROUND UTILITIES. OFFSET A REASONABLE AND PRACTICAL DISTANCE TO AVOID ANY IMMINENT OR FUTURE CONFLICT.

F. PLANTING OPERATIONS:

DO NOT MIX OR PLACE SOILS AND SOIL AMENDMENTS IN FROZEN, WET OR MUDDY CONDITION. SUSPEND SOIL SPREADING, GRADING AND TILLING OPERATIONS DURING PERIODS OF EXCESS SOIL MOISTURE UNTIL MOISTURE CONTENT REACHES ACCEPTABLE LEVELS TO ATTAIN THE REQUIRED RESULTS. UNIFORMLY MOISTEN EXCESSIVELY DRY SOIL THAT IS NOT WORKABLE AND TOO DUSTY.

TREE PITS SHALL BE EXCAVATED TO A DEPTH THAT ALLOWS FOR THE PLANTS TO BE SET AT THE SAME RELATIONSHIP TO FINISHED GRADE AS THEY BORE TO THE GROUND FROM WHICH THEY WERE DUG. USE PLANTING SOIL TO BACKFILL APPROXIMATELY 2/3 FULL WATER THOROUGHLY BEFORE INSTALLING REMAINDER OF THE PLANTING SOIL TO TOP OF PIT, ELIMINATING ALL AIR POCKETS. SET PLANTS PLUMB AND BRACE RIGIDLY IN POSITION UNTIL THE PLANTING SOIL HAS BEEN STAMPED SOLIDLY AROUND THE BALL AND ROOTS. CUT ROPES OR STRINGS FROM TOP OF BALL AFTER PLANT HAS BEEN SET. LEAVE BURLAP OR CLOTH WRAPPING INTACT AROUND BALLS. TURN UNDER AND BURY PORTIONS OF BURLAP AT TOP OF BALL. FOR CONTAINER GROWN PERENNIALS, CAREFULLY REMOVE FROM CONTAINERS WITHOUT BREAKING APART PLANTS OR ROOT SYSTEMS AND GENTLY LOOSEN SOIL. PLACE IN PIT EXCAVATED TO THE DEPTH THAT ALLOWS FOR THE PLANT TO BE SET AT ITS FORMER GRADE. BACKFILL TO 2/3 FULL AND WATER THOROUGHLY. BACKFILL WITH REMAINING PLANTING SOIL TO TOP OF PIT, ELIMINATING ALL AIR POCKETS. DISPOSE OF REMOVED CONTAINERS OFFSITE AT AN APPROVED LANDFILL.

PROTECT PLANTS AT ALL TIMES FROM SUN OR DRYING WINDS. PLANTS THAT CANNOT BE PLANTED IMMEDIATELY ON DELIVERY SHALL BE KEPT IN THE SHADE, WELL PROTECTED WITH SOIL, WET MOSS OR OTHER ACCEPTABLE MATERIAL AND SHALL BE KEPT WELL WATERED. PLANTS SHALL NOT REMAIN UNPLANTED FOR LONGER THAN THREE DAYS AFTER DELIVERY. PLANTS SHALL NOT BE BOUND WITH WIRE OR ROPE AT ANY TIME SO AS TO DAMAGE THE BARK OR BREAK BRANCHES. PLANTS SHALL BE LIFTED AND HANDLED FROM THE BOTTOM OF THE BALL ONLY.

MULCH ALL PITS AND BEDS WITH A TWO-INCH LAYER OF BARKMULCH IMMEDIATELY AFTER PLANTING. TO WORKED BEDS OF HERBACEOUS PERENNIALS ADD MULCH TO A DEPTH OF 2". PROVIDE AN 3-FOOT DIAMETER MULCH CIRCLE AROUND THE BASE OF ALL LARGE TREES. IN NO INSTANCE IS MULCH TO BE PILED AGAINST THE BASE OF TREE AND SHRUB TRUNKS. MULCH AREAS AROUND BASE OF EACH PLANT AND IN PLANTER AREAS. WATER ALL PLANTS IMMEDIATELY AFTER PLANTING.

G. STAKING AND PRUNING:

STAKE LARGE TREES IMMEDIATELY AFTER PLANTING. PLANTS SHALL STAND PLUMB AFTER STAKING. STAKES AND GUY WIRES SHALL BE OF THE SIZE AND MATERIAL SPECIFIED ABOVE AND POSITIONED AS SHOWN ON THE ACCOMPANYING PLANTING DETAIL. THEY SHALL BE REMOVED AT THE END OF THE GUARANTEE PERIOD AND DISPOSED OF OFF SITE BY THE CONTRACTOR.

REMOVE ALL DEAD WOOD, SUCKERS, OR BROKEN BRANCHES AND PRESERVE THE NATURAL CHARACTER OF THE PLANT.

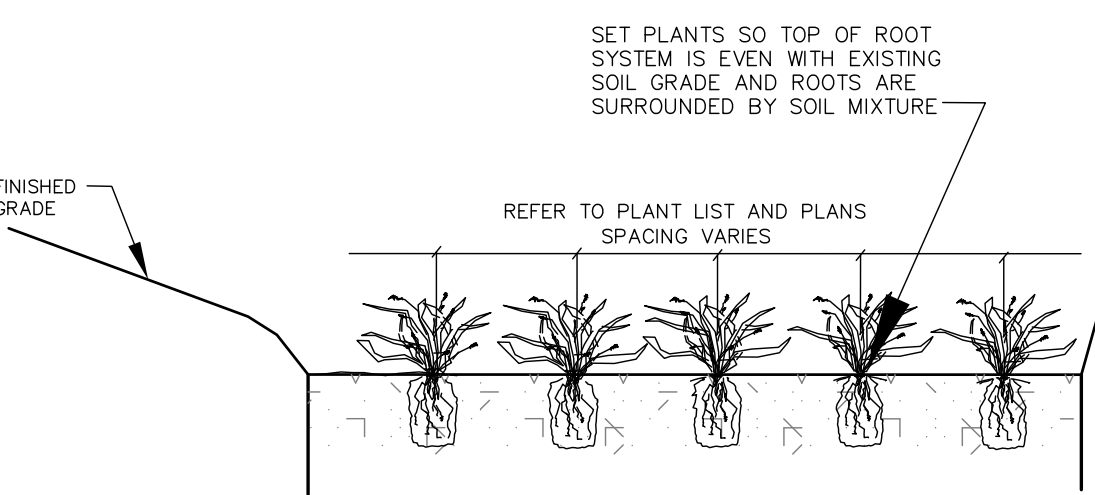
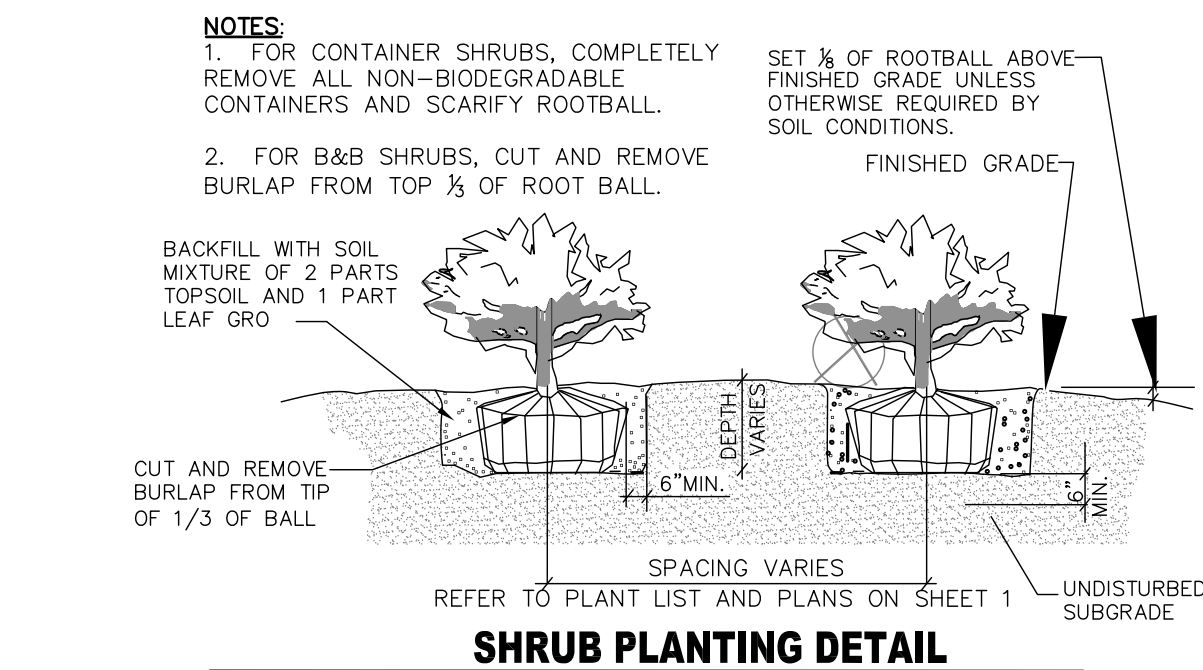
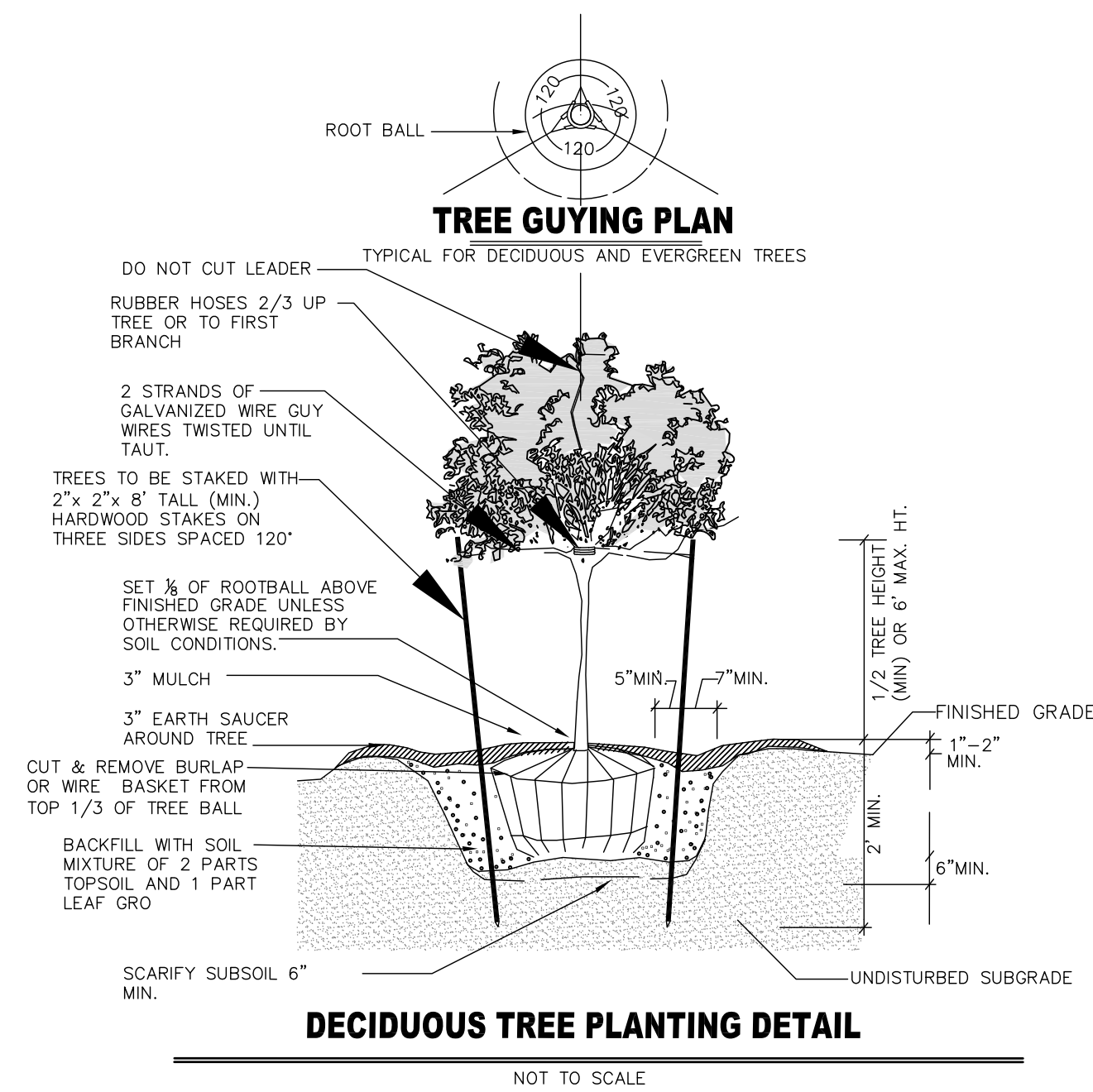
H. POST PLANTING RESPONSIBILITIES:

THE OWNER/DEVELOPER THROUGH HIS/HER CONTRACT WITH THE LANDSCAPE CONTRACTOR IS RESPONSIBLE AND SHALL INSURE ADEQUATE MAINTENANCE IS PROVIDED THROUGH THE INSTALLATION AND WARRANTY PERIOD AND FINAL INSPECTION BY THE COUNTY.

I. GUARANTEE:

TREES AND HERBACEOUS PERENNIALS SHALL BE GUARANTEED FOR TWO (2) FULL YEARS FROM THE DATE THAT THE LANDSCAPE INSTALLATION IS ACCEPTED AS COMPLETE AND HAVE A 100% SURVIVABILITY RATING AT THE END OF THE TWO YEARS. PLANT MATERIAL NOT FOUND TO BE IN A HEALTHY, VIGOROUS CONDITION AT THE BEGINNING OF THE SECOND GROWING SEASON IS TO BE REPLACED. BARE-ROOT SEEDLINGS SHALL BE GUARANTEED FOR A PERIOD OF FIVE (5) YEARS AND HAVE A 50% SURVIVABILITY RATE AT THE END OF 5 YEARS. SEEDLINGS NOT FOUND TO BE IN A HEALTHY VIGOROUS CONDITION AT THE END OF THE FIVE-YEAR PERIOD ARE TO BE REPLACED.

PLANTING DETAILS



PLANT SCHEDULES

LANDSCAPE PLANT SCHEDULE

KEY	QUA	BOTANICAL NAME	COMMON NAME	NATIVE	SIZE
<i>Canopy Trees</i>					
PO	2	<i>Platanus occidentalis</i>	Sycamore	Y	2 - 2 1/2" cal. B&B
QP	2	<i>Quercus phellos</i>	Willow Oak	Y	2 - 2 1/2" cal. B&B
<i>Evergreen Trees</i>					
IO	6	<i>Ilex opaca</i>	American Holly	Y	5 - 6' Ht. B&B
TO	10	<i>Thuja occidentalis</i> 'North Pole'	North Pole Arborvitae	Y	3 - 4' Ht. B&B
<i>Shrubs</i>					
FG	20	<i>Fothergilla gardenii</i> 'Blue Mist'	Blue Mist Fothergilla	Y	18 - 24' Cont.
HP	20	<i>Hypericum prolificum</i>	St John's Wort	Y	18 - 24' Cont.
NB	14	<i>Physocarpus opulifolius</i> 'Tiny Wine'	Tiny Wine Ninebark	Y	18 - 24' Cont.
RA	9	<i>Rhus aromatica</i> 'Gro-Low'	Gro-Low Sumac	Y	18 - 24' Cont.

SWM PLANT SCHEDULE

KEY	QUA	BOTANICAL NAME	COMMON NAME	NATIVE	SIZE
<i>Shrubs</i>					
Hg	12	<i>Itea virginica</i> 'Little Henry'	Little Henry Va Sweetpire	Y	18 - 24' Cont.
<i>Perennials</i>					
Ao	14	<i>Aster oblong</i> 'Raydon's Favorite'	Raydon's Favorite Aster	Y	1 Gal. Cont.
Hc	24	<i>Hypericum calycinum</i>	St Johns Wort	Y	1 Gal. Cont.
Iv	13	<i>Iris versicolor</i>	Blue Flag	Y	1 Gal. Cont.
Pd	13	<i>Penstemon digitalis</i> 'Husker Red'	Beardtongue	Y	1 Gal. Cont.

LANDSCAPE REQUIREMENTS

PARKING LOT LANDSCAPE
 Parking Lot Area: 6,191 sq.ft.
 Required Green Space: 6,191 sq.ft. x 10% = 619 sq.ft.
 Proposed Green Space: 707 sq.ft.

LANDSCAPE DESIGN INTENT

- The project proposes the following design attributes:
- Screen the residential property to the use through the use of taller evergreen trees and large canopy trees
 - Screen the parking area from right of ways and adjacent properties through the use of smaller height flowering and evergreen shrubs height limited to no more than 3 feet to minimize views at road intersection
 - Provide tree and shrub planting within landscape islands to provide shade and accurate entrances and limits of parking area
 - Provide flowering shrub for foundation plantings to accentuate the buildings architectural features
 - Provide seasonal plantings within bio retention device to remove pollutants and promote pollinator habitat

KENT COUNTY DEPARTMENT OF PLANNING AND ZONING	KENT COUNTY DEPARTMENT OF PUBLIC WORKS	<p>OCTOBER 25, 2024 DATE SEAL</p>	<p>DAVIS, MOORE, SHEARON & ASSOCIATES, LLC P.O. BOX 80 CENTREVILLE, MARYLAND 21617</p> <p>HUSTEAD Landscape Architecture, LLC 120 Bay Meadows Lane Stevensville, MD. 21666 Phone : 443.988.2294 E-mail: Vhustead@Husteadla.com Web: www.Husteadla.com</p>	DATE 10-25-24	REVISION PER COMMENTS	<p>LANDSCAPE DETAILS AND SPECIFICATIONS</p> <p>ON THE LANDS OF KNR, INC.</p> <p>IN THE VILLAGE OF WORTON</p> <p>TAX MAP - 28, GRID - 1B, PARCEL - 167</p> <p>THIRD ELECTION DISTRICT, KENT COUNTY, MARYLAND</p> <p>PREPARED FOR : SUNNY DATTA</p>	DATE SEPTEMBER '24	SCALE AS SHOWN
KENT COUNTY HEALTH DEPARTMENT	KENT SOIL AND WATER CONSERVATION DISTRICT						JOB No. 2022049	DRAWN BY VH
						SHEET No. - C-2	CADD FILE -- 22049-L2	

To: Kent County Planning Commission
From: Rob Tracey, AICP, Associate Planner
Meeting: November 7, 2024
Subject: Delmarva Power and Light Co. of MD
Final Site Plan Review – Improvements to Existing Site

Executive Summary

REQUEST BY THE APPLICANT

Delmarva Power and Light Company of MD is requesting final site plan review for improvements to the existing substation in Chestertown. The proposed upgrades include rearranging electrical components/buildings, consolidating four driveways into two, replacing the existing chain link fence with a non-conductive/panel system fence, and modifying the existing landscaping approved in 2021.

PUBLIC PROCESS

Per Article VI, Section 5.2 of the Kent County *Land Use Ordinance*, the Planning Commission shall review and approve major site plans.

SUMMARY OF THE STAFF REPORT

The property is improved by electrical equipment and a small control building. The surrounding area is a mix of industrial uses, such as Choptank Electric Cooperative, Gillespie Pre-Cast, small commercial businesses, agriculture, and residential land on the north side of Maryland Route 291. The property's north, south, east, and west sides are currently screened by existing vegetation and a six-foot chain link fence. The applicant meets all the requirements for final site plan approval. Preliminary site plan approval was granted at the August Planning Commission meeting.

STAFF RECOMMENDATION

Staff recommends granting final site plan approval conditioned upon:

- Approval of the sediment and erosion control and stormwater management plans.
- Submission and approval of sureties for sediment and erosion control, stormwater management, and landscaping.

PRELIMINARY STAFF REPORT

TO: Kent County Planning Commission
SUBJECT: Delmarva Power and Light Co. of MD
Final Site Plan Review – Improvements to Existing Site
DATE: October 31, 2024

DESCRIPTION OF PROPOSAL

Delmarva Power and Light Company of MD is requesting final site plan approval for improvements to the existing substation in Chestertown. The proposed upgrades include rearranging electrical components/buildings, consolidating four driveways into two, replacing the existing chain link fence with an eight-foot tall non-conductive/panel system fence, and modifying the existing landscaping approved in 2021. The proposed site is located at 509 Morgnec Road in Chestertown in the Fourth Election District and is zoned Commercial (C).

The property is improved by electrical equipment and a small control building. The surrounding area is a mix of industrial uses, such as Choptank Electric Cooperative, Gillespie Pre-Cast, small commercial businesses, agriculture, and residential land on the north side of Maryland Route 291. The property's north, south, east, and west portions are currently screened by existing vegetation and a six-foot chain link fence. Preliminary site plan approval was granted at the August Planning Commission meeting.

RELEVANT ISSUES

I. Density, Height, Width, Bulk, and Fence Requirements

- A. *Applicable Law:* Article V, Section 11.5 of the Kent County Land Use Ordinance establishes the Density, Height, Width, Bulk, and Fence Requirements.
- B. *Staff and TAC Comments:* The proposed improvements comply with the setback requirements.

II. Commercial Specific Design Standards

- A. *Applicable Law:* Article V, Section 11B of the Kent County Land Use Ordinance establishes the design standards for the Commercial zoning district.
- B. *Staff and TAC Comments:*
 - The access to the project appears to be adequate and the roads appear to have the capacity to handle the traffic generated by the proposed project. Additionally, there are no known endangerments to the safety of the general public from this proposal.

III. Parking and Loading

- A. *Applicable Law:* Article VI, Section 1.3 of the Kent County Land Use Ordinance establishes the parking standards for industrial uses based on one parking space per two employees in the principal shift.
- B. *Staff and TAC Comments:* The applicant's narrative states that the site will be un-manned and therefore have no permanent employees. However, the site plan provides a parking area for vehicles and a port a potty for employees when maintenance is required.

IV. Commercial Specific Design Standards: Landscaping

- A. *Applicable Law:* Article V, Section 11.8.B.6.C of the Kent County Land Use Ordinance establishes the landscaping design standards for the Commercial zoning district. The landscaping design standards

state that the landscaping will be maintained in good condition with at least the same quality and quantity as initially approved. Article V, Section 11.8.B.6.E of the Kent County Land Use Ordinance authorizes the Planning Commission to reduce or waive the landscaping requirement when it is demonstrated that the spirit and intent of the requirement outlined above is accomplished through other means or the nature of the change does not require additional landscaping.

B. Staff and TAC Comments:

- The Planning Commission approved a waiver to the landscaping requirement at the August meeting.
- The total number of plants has not changed from the preliminary site plan; however, staff notes that the proposed final landscaping plan replaces six eastern red cedars with six American holly.
- The applicant has submitted multiple renderings which show the proposed panel-based fencing and landscaping.

V. Site Plan Review

- A. *Applicable Law:* Article VI, Section 5 of the Kent County Land Use Ordinance outlines the procedures and requirements for site plan review. Site Development Plans are required to ensure that new development complies with the Comprehensive Plan, Land Use Ordinance, Village Master Plans and other agency requirements, thereby promoting the health, safety, and general welfare of Kent County residents.

Section 5.3.B.16 establishes that the Planning Commission shall prepare findings of fact concerning the reasonable fulfillment of the objectives listed below.

- a. Conformance with the Comprehensive Plan and, where applicable, the Village Master Plan.
- b. Conformance with the provisions of all applicable rules and regulations of county, state, and federal agencies.
- c. Convenience and safety of both vehicular and pedestrian movement within the site and in relationship to adjoining ways and properties.
- d. Provisions for the off-street loading and unloading of vehicles incidental to the normal operation of the establishment, adequate lighting, and internal traffic control.
- e. Reasonable demands placed on public services and infrastructure.
- f. Adequacy of methods for sewage and refuse disposal, and the protection from pollution of both surface waters and groundwater. This includes minimizing soil erosion both during and after construction.
- g. Protection of abutting properties and County amenities from any undue disturbance caused by excessive or unreasonable noise, smoke, vapors, fumes, dust, odors, glare, stormwater runoff, etc.
- h. Minimizing the area over which existing vegetation is to be removed. Where tree removal is required, special attention shall be given to planting of replacement trees.
- i. The applicant's efforts to integrate the proposed development into the existing landscape through design features such as vegetative buffers, roadside plantings, and the retention of open space and agricultural land.
- j. The building setbacks, area, and location of parking, architectural compatibility, signage, and landscaping of the development, and how these features harmonize with the surrounding townscape and the natural landscape.

B. Staff and TAC Comments:

- The proposal is consistent with many strategies and goals of the Comprehensive Plan.
- The stormwater management and sediment control plans and affiliated sureties are still under review and must be finalized.

- There are no known unreasonable demands on public services or infrastructure.
- The applicant has noted that this area is removed from any interaction with the public; as such, all vehicular and pedestrian movements will be governed by the Company in strict compliance with workplace safety.
- Off-street parking is provided for vehicles when maintenance is required.
- No new signage is proposed at this time.
- The applicant has proposed replacing the existing six-foot chain-link privacy fence with an eight-foot nonconductive panel-based fence. The Planning Commission should discuss and ascertain whether this type of fencing harmonizes with the surrounding townscape and natural landscape.
- The landscaping appears to be sufficient and harmonizes with the area.

STAFF RECOMMENDATION:

Staff recommends that the Planning Commission approve the final site plan for the proposed substation expansion conditioned upon:

- Approval of the sediment and erosion control and stormwater management plans.
- Submission and approval of sureties for sediment and erosion control, stormwater management, and landscaping.

Kent County Department of Planning, Housing and Zoning

Kent County Government Center
400 High Street • Chestertown, MD 21620
410-778-7423 (phone) • 410-810-2932 (fax)

SITE PLAN APPLICATION

File Number: _____ **Amount Paid:** \$225.00 **Date:** February 26, 2024

Project Name: Morgnec Substation Improvements

District: 04 Map: 37 Parcel: 82 Lot Size: 1.72 ac Deed Ref: 25/28 Zoning: C

LOCATION: 509 Morgnec Road, Chestertown, MD 21620

PROPOSED USE: Expansion and improvement of existing Delmarva Power & Light Co. electric substation

OWNER OF LAND:

Name: Delmarva Power & Light Company Telephone: (302) 420-8764

Address: 800 King Street, PO Box 231, Wilmington, DE 19899-0231 Email: ida.parrett@exeloncorp.com

APPLICANT:

Name: Delmarva Power & Light Company Telephone: _____

Address: _____ Email: _____

AGENT/ATTORNEY (if any):

Name: Ryan Showalter & Tony Kupersmith Telephone: (410) 820-0259

Address: McAllister, DeTar, Showalter & Walker
100 N. West Street, Easton, MD 21601 Email: rshowalter@mdswlaw.com
akupersmith@mdswlaw.com

REGISTERED ENGINEER OR SURVEYOR:

Name: Scott Parker, PE, Duffield Associates Telephone: (302) 239-6634

Address: 5400 Limestone Road, Wilmington, DE 19808-1232 Email: duffield@duffnet.com

Please provide the email of the one person who will be responsible for responding to comments. Only this person will be contacted by staff and will be the person responsible for forwarding the comments or requests for additional information to any other interested parties. EMAIL: rshowalter@mdswlaw.com

Water Supply: Public System On lot system
Sewerage: Public System On lot system N/A

TELEPHONE SERVICED BY: Verizon

ELECTRIC SERVICED BY: Delmarva Power & Light Company

NOTICE: The Planning Office is not required to make out this Application. If the Planning Department assists you, it cannot be held responsible for its contents.

Signature of Applicant _____ **Date** _____

- Concept Plan Approving Authority: _____ Date _____
- Preliminary Approving Authority: _____ Date _____
- Final Approving Authority: _____ Date _____

October 21, 2024

Robert Tracey, Associate Planner
Kent County Government Center
Department of Planning, Housing & Zoning
400 High Street
Chestertown, MD 21620

RE: Duffield Project No. 14362
Narrative of Changes Letter
Chestertown Substation, Morgnec Solar Project

Dear Mr. Tracey:

The Final Major Site Plan was discussed at the October 9, 2024 Kent County Technical Advisory Committee (TAC) meeting. In response to the TAC meeting minutes, Duffield Associates provides the following narrative followed by a response to each of the TAC comments.

NARRATIVE:

The existing electrical substation is located at 509 Morgnec Road, Chestertown, MD 21620. The substation is being upgraded to meet the growing electrical needs of Chestertown. In order to achieve the necessary improvements, the existing substation fence along Morgnec Road (currently 60 +/- feet off the edge of Morgnec Road) is being moved approximately 20 feet, so that the substation will be approximately 40 +/- feet off the edge of Morgnec Road. To meet Federal regulations for the increased electrical need, the fence is being upgraded to a solid panel fence with “V” channel top for animal security purposes. A porta-potty is proposed within the northwest corner of the fenced substation. The porta-potty will not be accessible from outside the fence, it is within the fenced substation and only accessible to DP&L workers that are maintaining the electrical substation.

To address the Planning Commission’s desire for a better visual of the fence and its surroundings, we have provided a 6-page rendering that shows the proposed fence with the proposed landscaping. At the request of the Planning Commission, the proposed evergreen trees (16 American Holly & 13 Eastern Red Cedars) have been dispersed along the frontage. The evergreen trees are an average group of 2 or 3 rather than larger groups. The shrubs (31 Upright Japanese Yew and 28 Winterberry) have been adjusted accordingly, but still remain in front of the evergreen trees for visual purposes. The 10-foot fence clearance is still part of the layout design so that a separation barrier between the fence and any landscaping can be maintained. This 10-foot clearance minimizes the risk of animals climbing the trees and gaining access to the electrical substation.

The project has obtained Kent Soil and Water Conservation District approval and the attached Plan contains the required District signature.

TAC COMMENTS:

The following comments are part of the meeting minutes for this project:

- Comment: SHA has issued access permit number 24APKE00424 for their entrances.

Response: Noted.

- Comment: The Health Department has no objections to this application.

Response: Noted.

Enhancing our community one project at a time.

- Comment: On sheet 4, titled “Final Major Site Plan”, it states that a 6-foot chain-link fence is proposed along the rear property line. The site renderings show a panel fence on all sides. Please provide clarification regarding the type of fence proposed along the side and rear property lines.

Response: The 6-foot chain link fence label is for the existing fence and has been removed for clarity purposes. In addition, labels have been added to the sides and rear indicating a proposed 8-foot panel fence.

- Comment: Sheet 4 shows a porta-potty towards the northwest section of the property. Please update site coverage on sheet 1 to reflect the proposed porta-potty.

Response: The Site Cover calculations shown on sheet 1 have been updated accordingly.

- Comment: Please revise your narrative to address the proposed porta-potty.

Response: The narrative has been revised to include the proposed porta-potty.

- Comment: There is a notation on the renderings stating that the “renderings reflect anticipated plant size at five years after planting”.

Response: The renderings do show the anticipated plant sizes after 5 years of growth. This was a comment from the August 1, 2024 Planning Commission meeting.

- Comment: Please provide an additional rendering showing the northwest corner of the landscaping and fencing.

Response: As requested, two additional renderings have been included within this submission package.

- Comment: Please provide the landscaping estimate and surety documents.

Response: A copy of the landscaping estimate and surety documents have been included with this submission.

- Comment: The application will be scheduled for the November 7, 2024 Planning Commission meeting.

Noted.

We appreciate The Planning Commission’s review of this project. Please feel free to contact us with any comments or questions.

Sincerely,

DUFFIELD ASSOCIATES, LLC



Scott H. Parker, P.E.
Project Manager



Note: Rendering reflects anticipated plant size at 5 years after planting

VIEW 001

CHESTERTOWN SUBSTATION - EXTERIOR RENDERING 18 OCT / 2024



Note: Rendering reflects anticipated plant size at 5 years after planting

VIEW 002

CHESTERTOWN SUBSTATION - EXTERIOR RENDERING 18 OCT / 2024



Note: Rendering reflects anticipated plant size at 5 years after planting

VIEW 003

CHESTERTOWN SUBSTATION - EXTERIOR RENDERING 18 OCT / 2024



VIEW 004

CHESTERTOWN SUBSTATION - EXTERIOR RENDERING 18 OCT / 2024



Note: Rendering reflects anticipated plant size at 5 years after planting

VIEW 005

CHESTERTOWN SUBSTATION - EXTERIOR RENDERING 18 OCT / 2024



Note: Rendering reflects anticipated plant size at 5 years after planting.

VIEW 006

CHESTERTOWN SUBSTATION - EXTERIOR RENDERING 18 OCT / 2024



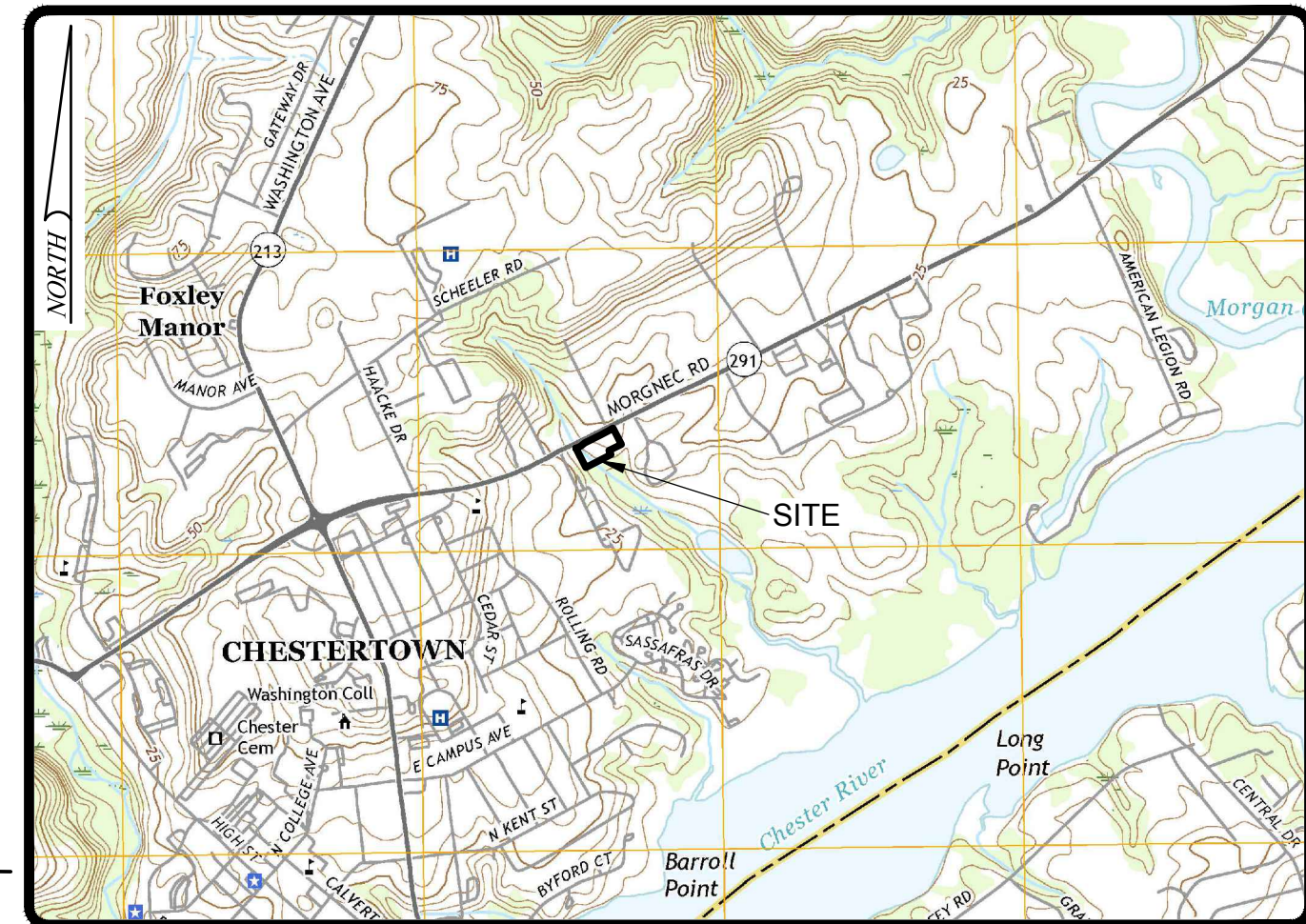
Know what's below. Call before you dig.

Kent Co. 23-34 KSWCD 7524

FINAL MAJOR SITE PLAN FOR "CHESTERTOWN SUBSTATION" MORGNEC SOLAR PROJECT DELMARVA POWER & LIGHT CO. TAX MAP 37, GRID 3E, PARCELS 82 & 85 FOURTH ELECTION DISTRICT - KENT COUNTY - MARYLAND

C-COMMERCIAL ZONING DATA table with columns for MINIMUM LOT SIZE, MINIMUM LOT FRONTAGE, MINIMUM FRONT YARD SETBACK, MINIMUM SIDE & REAR YARD SETBACK.

INDEX OF SHEETS table listing SHEET 1 through SHEET 8 with descriptions like COVER SHEET, EXISTING CONDITIONS & DEMOLITION PLAN, etc.



USGS QUAD MAP: CHESTERTOWN, MD 2017 LOCATION MAP SCALE: 1" = 2,000'

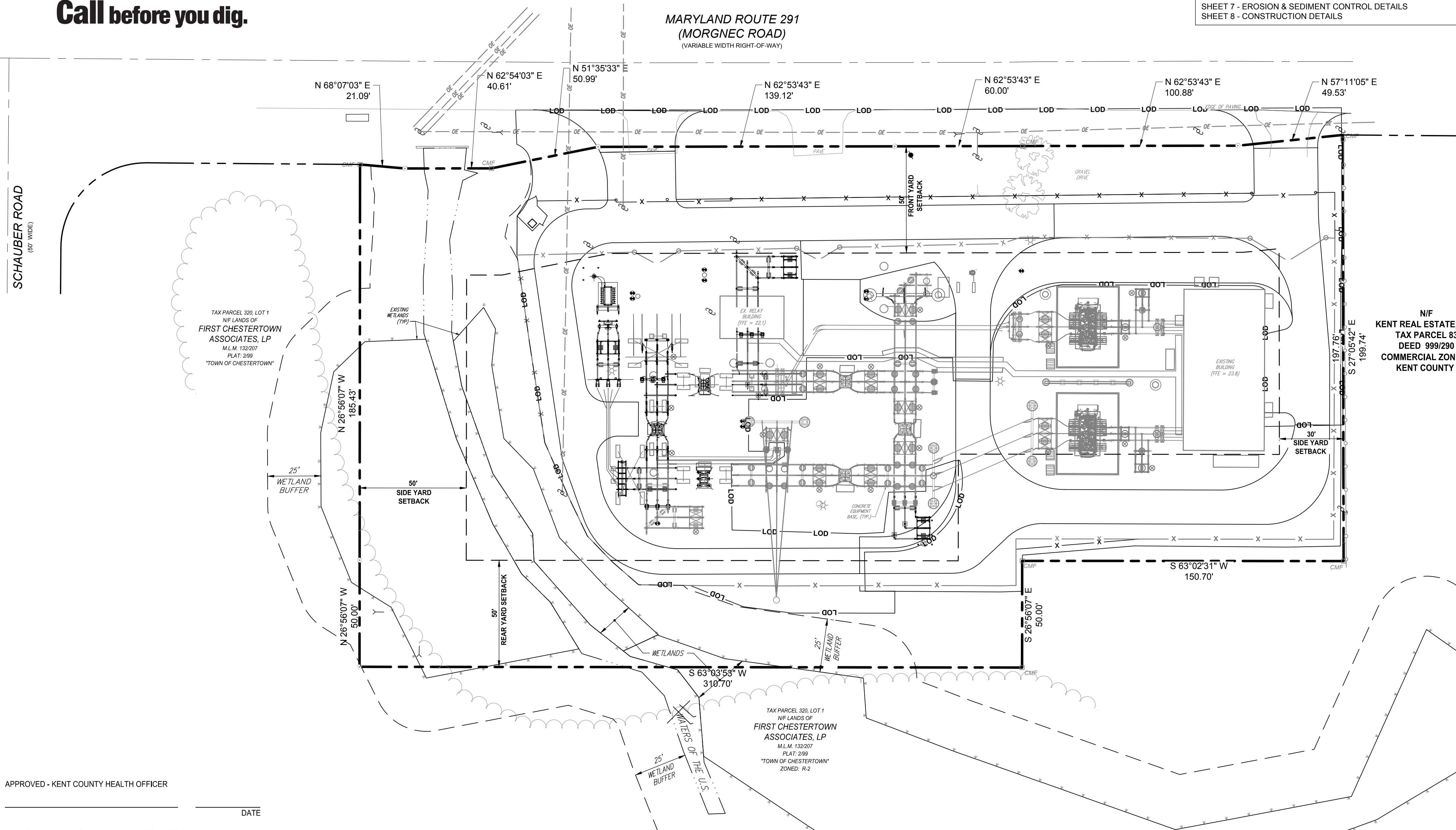


Table with 5 columns: No., REVISION, DATE, DESCRIPTION, COMMENTS. Contains 5 revision entries.

Table with 2 columns: EXISTING CONDITIONS and PROPOSED CONDITIONS. Lists items like BUILDINGS, CONCRETE, UNCOMPACTED GRAVEL, etc. with area and percentage.

- NOTES: 1. THE PURPOSE OF THIS PLAN IS TO SHOW THE CONSTRUCTION RELATED TO THE EXPANSION OF THE CHESTERTOWN SUBSTATION. 2. BOUNDARY AND TOPOGRAPHIC INFORMATION TAKEN FROM THE EXISTING CONDITIONS/AS BUILT PLAN FOR THE CHESTERTOWN SUBSTATION...

APPROVED - KENT COUNTY HEALTH OFFICER DATE APPROVED - KENT COUNTY PLANNING COMMISSION DATE

- SEQUENCE OF CONSTRUCTION: 1. NOTIFY THE KENT COUNTY PLANNING, HOUSING & ZONING FIVE (5) DAYS PRIOR TO COMMENCING CONSTRUCTION @ (410) 778-7423. 2. ARRANGE A PRE-CONSTRUCTION MEETING...

OWNER / DEVELOPER CERTIFICATION I, HEREBY CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION SHALL BE DONE ACCORDING TO THIS PLAN OF EROSION AND SEDIMENT CONTROL.

REVIEWED FOR THE KENT SOIL AND WATER CONSERVATION DISTRICT AND MEETS TECHNICAL REQUIREMENTS APPROVED: Robert Baldwin Digitally signed by Robert Baldwin Date: 2024.09.17 08:58:47 -0400

FOLLOWING INITIAL DISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN 3 CALENDAR DAYS ON ALL PERIMETER CONTROLS AND SLOPES GREATER THAN 3 TO 1, AND 7 DAYS ON ALL OTHER DISTURBED AREAS ON THE SITE.

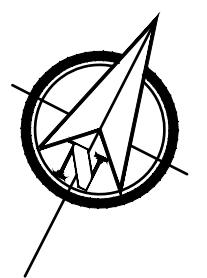
DESIGN CERTIFICATION I HEREBY CERTIFY THAT ALL SEDIMENT AND EROSION CONTROL MEASURES SHOWN ON THESE PLANS HAVE BEEN DESIGNED IN ACCORDANCE WITH THE 1994 MD STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL OR CURRENT REVISION THEREOF.

DUFFIELD ASSOCIATES logo and contact information: 5400 LIMESTONE ROAD WILMINGTON, DE 19808-1232

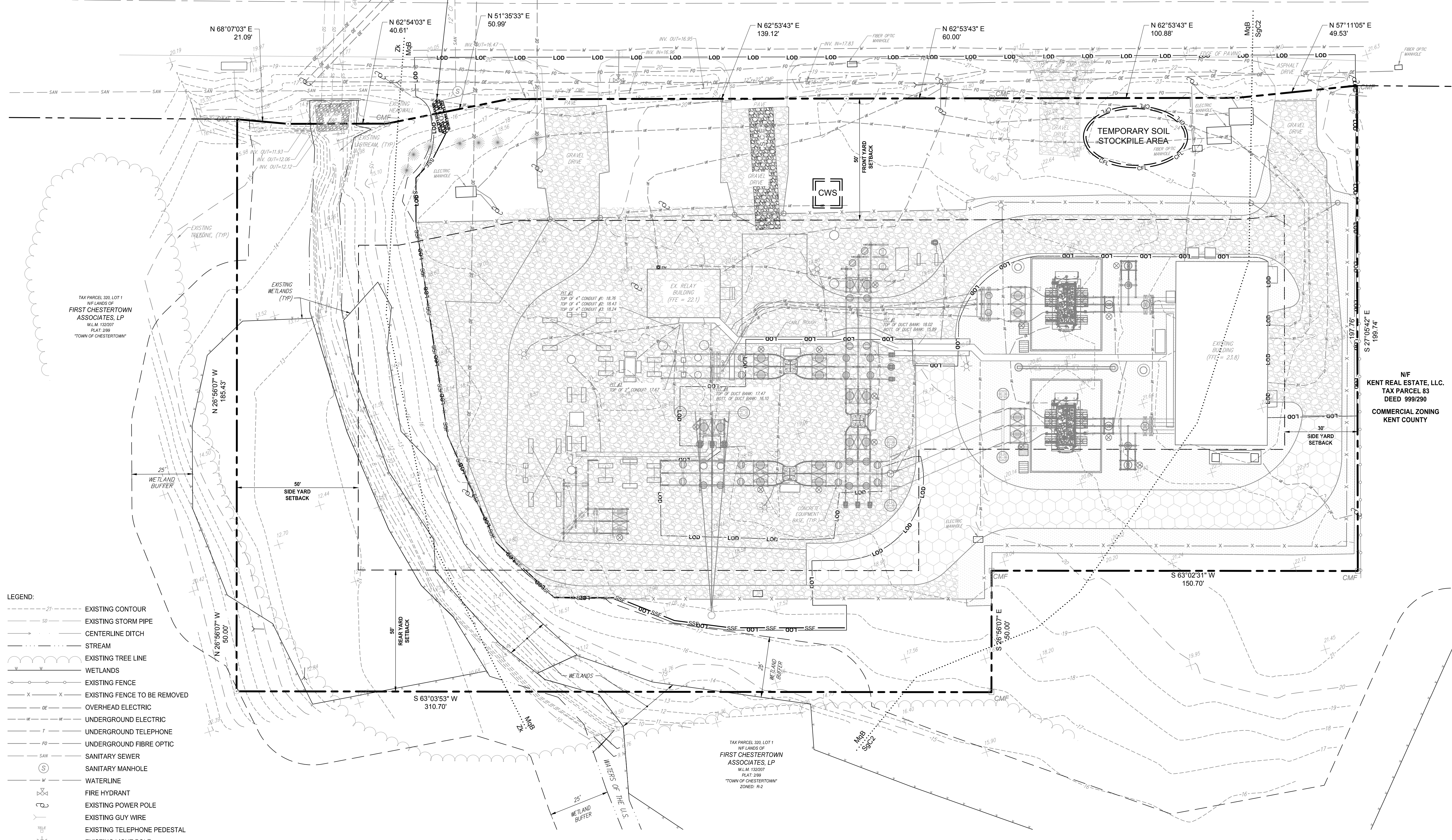
Professional Engineer seal for Kenneth J. Taylor, Jr., P.E., State of Maryland, License No. 14362.

Table with 5 columns: No., REVISION, DATE, DESCRIPTION, COMMENTS. Contains 5 revision entries.

FINAL MAJOR SITE PLAN COVER SHEET CHESTERTOWN SUBSTATION MORGNEC SOLAR PROJECT DELMARVA POWER & LIGHT CO. DATE: 3 MAY 2024 SCALE: 1" = 30' PROJECT NO. 14362 SHEET: 1 OF 8



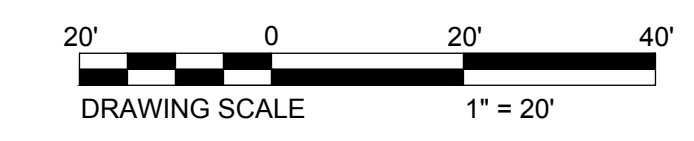
MARYLAND ROUTE 291
(MORGNEC ROAD)
(VARIABLE WIDTH RIGHT-OF-WAY)



- LEGEND:
- 2- EXISTING CONTOUR
 - 50- EXISTING STORM PIPE
 - C- CENTERLINE DITCH
 - S- STREAM
 - T- EXISTING TREE LINE
 - W- WETLANDS
 - X- EXISTING FENCE
 - X- EXISTING FENCE TO BE REMOVED
 - OE- OVERHEAD ELECTRIC
 - UE- UNDERGROUND ELECTRIC
 - UT- UNDERGROUND TELEPHONE
 - FO- UNDERGROUND FIBRE OPTIC
 - SAN- SANITARY SEWER
 - S- SANITARY MANHOLE
 - W- WATERLINE
 - FH- FIRE HYDRANT
 - GP- EXISTING GUY WIRE
 - TP- EXISTING TELEPHONE PEDESTAL
 - LP- EXISTING LIGHT POLE
 - SDB- EXISTING STORM DRAIN CATCH BASIN
 - DT- EXISTING DECIDUOUS TREE
 - CT- EXISTING CONIFEROUS TREE
 - CGS- EXISTING COMPACTED GRAVEL SURFACE
 - UGS- EXISTING UNCOMPACTED GRAVEL SURFACE
 - GWS- EXISTING GEO-WEB SURFACE
 - SCE- STABILIZED CONSTRUCTION ENTRANCE
 - CFL- COMPOST FILTER LOG
 - SSF- SUPER SILT FENCE
 - LOD- LIMIT OF DISTURBANCE

SOILS:
 Zk: ZEKIAH SILT LOAM, 0-2% SLOPES, FREQUENTLY FLOODED, HYDROLOGIC SOIL GROUP B/D
 MqB: MATTAPEX-BUTLERTOWN COMPLEX, 2-5% SLOPES, HYDROLOGIC SOIL GROUP C
 SgC2: SASSAFRAS GRAVELLY LOAM, 5-10% SLOPES, MODERATELY ERODED, HYDROLOGIC SOIL GROUP B

NOTE:
 EROSION AND SEDIMENT CONTROL WILL BE STRICTLY ENFORCED.



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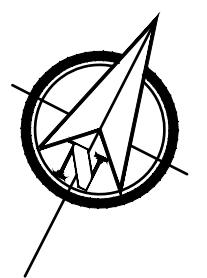
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 DRAWN BY: CAZ
 FILE NAME: Final Major Site 14362
 KENNETH J. TAYLOR, JR., P.E.

No.	REVISION
1	PRELIMINARY SUBMISSION FOR EROSION & SEDIMENT CONTROL REVIEW
2	PER KENT COUNTY COMMENTS
3	PER PLANNING COMMISSION COMMENTS OF 8-1-2024
4	PER CONSERVATION DISTRICT COMMENTS
5	PER 10-9-2024 TAC MEETING

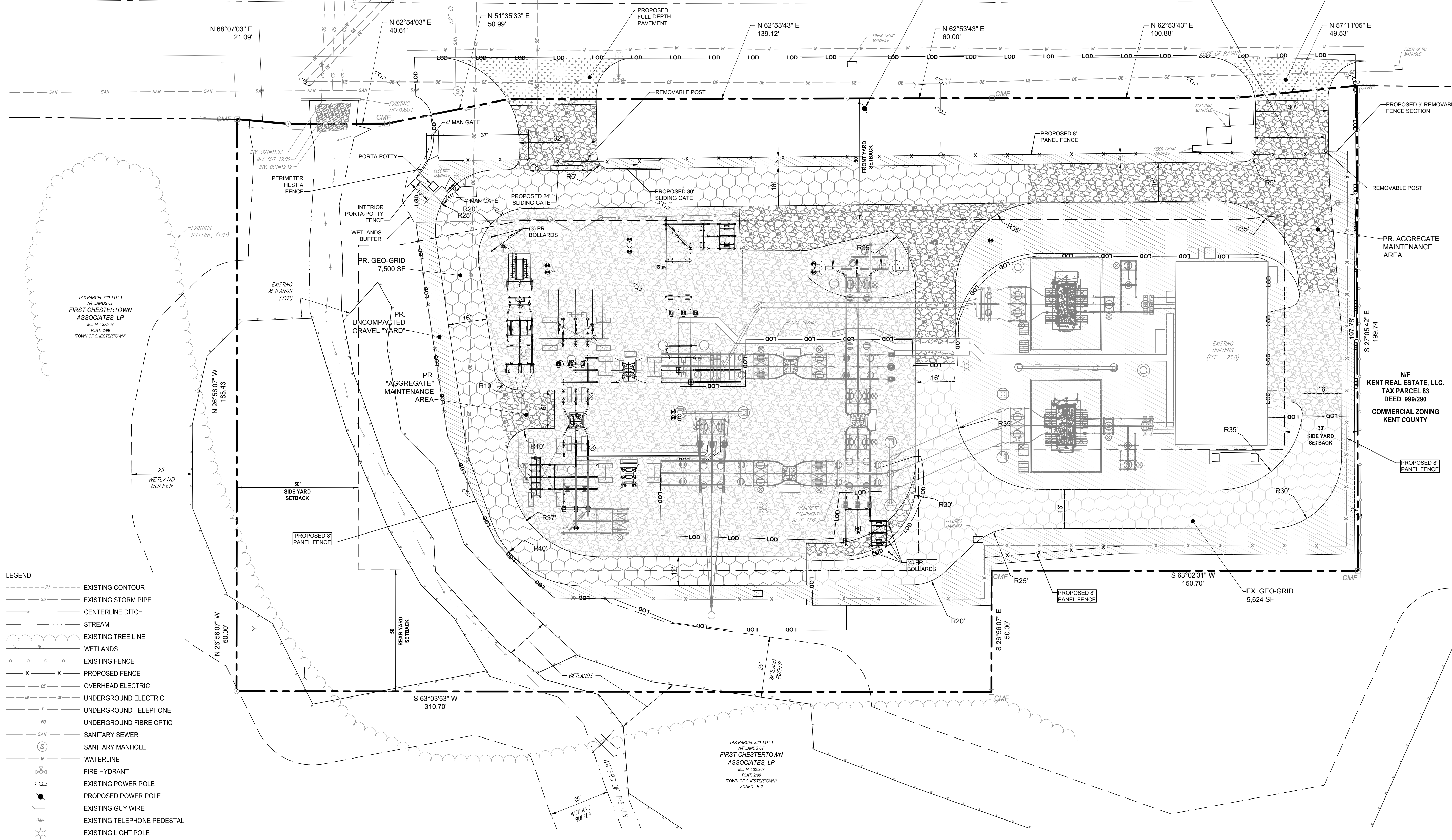
OWNER: DELMARVA POWER & LIGHT CO.
 P.O. BOX 9239
 NEWARK, DE 19714
 N/F
 KENT REAL ESTATE, LLC.
 TAX PARCEL 83
 DEED 999/290
 COMMERCIAL ZONING
 KENT COUNTY

FINAL MAJOR SITE PLAN
 PRE-BULK GRADING / SEDIMENT CONTROL PLAN
CHESTERTOWN SUBSTATION
MORGNEC SOLAR PROJECT
 DELMARVA POWER & LIGHT CO.
 FOURTH ELECTION DISTRICT ~ KENT COUNTY ~ MARYLAND

DATE: 3 MAY 2024
 SCALE: 1" = 20'
 PROJECT NO. 14362
 SHEET: 3 OF 8



**MARYLAND ROUTE 291
(MORGNEC ROAD)**
(VARIABLE WIDTH RIGHT-OF-WAY)



- LEGEND:**
- - - - - 2' - - - - - EXISTING CONTOUR
 - - - - - 50' - - - - - EXISTING STORM PIPE
 - - - - - CENTERLINE DITCH
 - - - - - STREAM
 - - - - - EXISTING TREE LINE
 - - - - - WETLANDS
 - - - - - EXISTING FENCE
 - - - - - PROPOSED FENCE
 - - - - - OVERHEAD ELECTRIC
 - - - - - UNDERGROUND ELECTRIC
 - - - - - UNDERGROUND TELEPHONE
 - - - - - UNDERGROUND FIBRE OPTIC
 - - - - - SANITARY SEWER
 - - - - - SANITARY MANHOLE
 - - - - - WATERLINE
 - - - - - FIRE HYDRANT
 - - - - - EXISTING POWER POLE
 - - - - - PROPOSED POWER POLE
 - - - - - EXISTING GUY WIRE
 - - - - - EXISTING TELEPHONE PEDESTAL
 - - - - - EXISTING LIGHT POLE
 - - - - - EXISTING STORM DRAIN CATCH BASIN
 - - - - - EXISTING DECIDUOUS TREE
 - - - - - EXISTING CONIFEROUS TREE
 - - - - - EXISTING COMPACTED GRAVEL SURFACE
 - - - - - EXISTING UNCOMPACTED GRAVEL SURFACE
 - - - - - EXISTING GEO-WEB SURFACE
 - - - - - PROPOSED FULL-DEPTH PAVEMENT
 - - - - - PROPOSED AGGREGATE MAINTENANCE AREA
 - - - - - PROPOSED UNCOMPACTED GRAVEL "YARD" SURFACE
 - - - - - PROPOSED GEO-WEB DRIVING SURFACE

DUFFIELD ASSOCIATES
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FILE NAME: Final Major Site-14362
DRAWN BY: CAZ
KENNETH J. TAYLOR, JR., P.E.
STATE OF MARYLAND PROFESSIONAL ENGINEER REG. NO. 100383
STATE MARYLAND P.E. #56969

No.	REVISION
1	PRELIMINARY SUBMISSION FOR EROSION & SEDIMENT CONTROL REVIEW
2	PER KENT COUNTY COMMENTS
3	PER PLANNING COMMISSION COMMENTS
4	DE-S-1-2024 001 AND WATER CONSERVATION DISTRICT COMMENTS
5	PER 10-9-2024 TAC MEETING

OWNER: DELMARVA POWER & LIGHT CO.
P.O. BOX 9239
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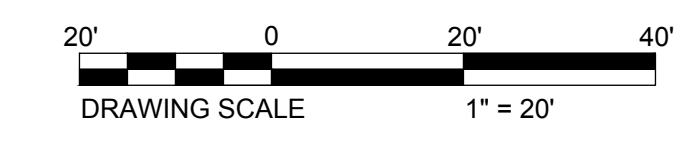
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DEED 999/290
COMMERCIAL ZONING
KENT COUNTY

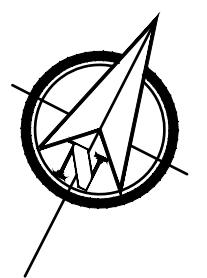
**FINAL MAJOR SITE PLAN
SITE PLAN**

**CHESTERTOWN SUBSTATION
MORGNEC SOLAR PROJECT**

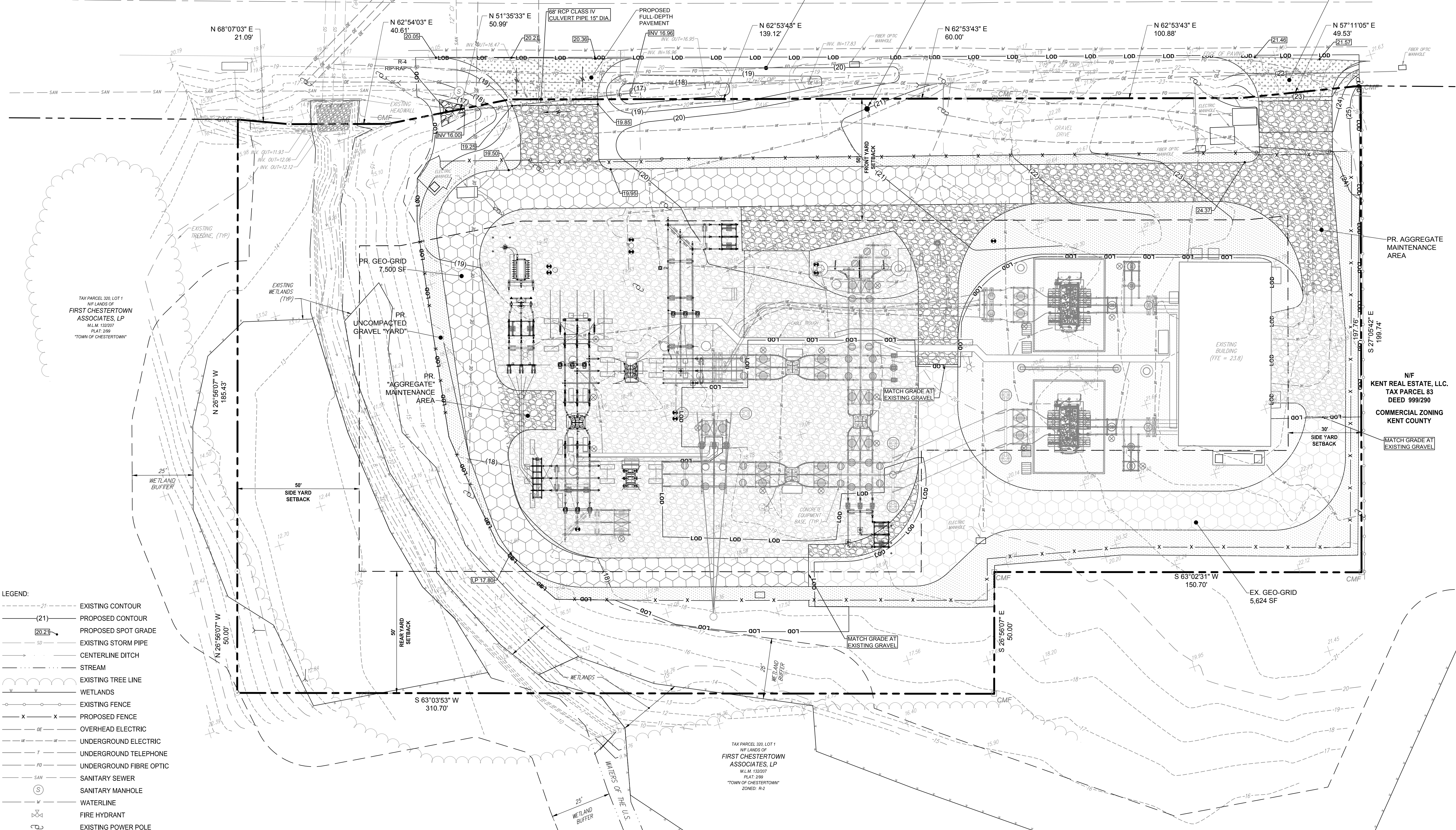
DELMARVA POWER & LIGHT CO.
FOURTH ELECTION DISTRICT ~ KENT COUNTY ~ MARYLAND

DATE: 3 MAY 2024
SCALE: 1" = 20'
PROJECT NO. 14362
SHEET: 4 OF 8





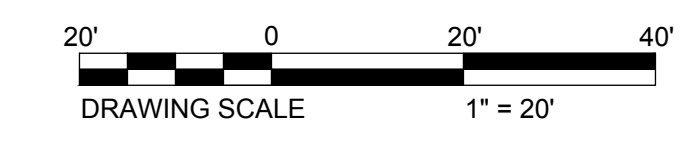
**MARYLAND ROUTE 291
(MORGNEC ROAD)**
(VARIABLE WIDTH RIGHT-OF-WAY)



- LEGEND:**
- - - - - 21 - - - - - EXISTING CONTOUR
 - (21) - - - - - PROPOSED CONTOUR
 - (20.2) - - - - - PROPOSED SPOT GRADE
 - - - - - 50 - - - - - EXISTING STORM PIPE
 - - - - - CENTERLINE DITCH
 - - - - - STREAM
 - - - - - EXISTING TREE LINE
 - - - - - WETLANDS
 - - - - - EXISTING FENCE
 - x - x - - - PROPOSED FENCE
 - - - - - OE - - - - - OVERHEAD ELECTRIC
 - - - - - UG - - - - - UNDERGROUND ELECTRIC
 - - - - - T - - - - - UNDERGROUND TELEPHONE
 - - - - - FO - - - - - UNDERGROUND FIBRE OPTIC
 - - - - - SAN - - - - - SANITARY SEWER
 - (S) - - - - - SANITARY MANHOLE
 - - - - - W - - - - - WATERLINE
 - - - - - FH - - - - - FIRE HYDRANT
 - - - - - EP - - - - - EXISTING POWER POLE
 - - - - - PP - - - - - PROPOSED POWER POLE
 - - - - - GW - - - - - EXISTING GUY WIRE
 - - - - - TP - - - - - EXISTING TELEPHONE PEDESTAL
 - - - - - LP - - - - - EXISTING LIGHT POLE
 - - - - - SDCB - - - - - EXISTING STORM DRAIN CATCH BASIN
 - - - - - EDT - - - - - EXISTING DECIDUOUS TREE
 - - - - - ECT - - - - - EXISTING CONIFEROUS TREE
 - - - - - PFD - - - - - PROPOSED FULL-DEPTH PAVEMENT
 - - - - - PCG - - - - - PROPOSED COMPACTED GRAVEL SURFACE
 - - - - - UCG - - - - - PROPOSED UNCOMPACTED GRAVEL SURFACE
 - - - - - GWS - - - - - PROPOSED GEO-WEB SURFACE

SOILS:
 Zk: ZEKIAH SILT LOAM, 0-2% SLOPES, FREQUENTLY FLOODED, HYDROLOGIC SOIL GROUP B/D
 MqB: MATTAPEX-BUTLERTOWN COMPLEX, 2-5% SLOPES, HYDROLOGIC SOIL GROUP C
 SgC2: SASSAFRAS GRAVELLY LOAM, 5-10% SLOPES, MODERATELY ERODED, HYDROLOGIC SOIL GROUP B

FACILITY TYPE: PERMEABLE GEOGRID GRAVEL SURFACE (PERMEABLE PAVEMENT)		
SECTION THICKNESS: 12 INCHES		
SURFACE AREA: 7,500 SF		
ESD REQUIRED	REQUIRED	PROVIDED
WQv	1,002 CF	1,200 CF
STORM EVENT	PRE	POST
2-YEAR	6.76 CFS	6.84 CFS
10-YEAR	12.93 CFS	13.27 CFS
100-YEAR	20.18 CFS	20.83 CFS



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CHECKED BY: SHIP
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 DRAWN BY: CAZ
 FILE NAME: Final Major Site 14362
 KENNETH J. TAYLOR, JR., P.E.
 STATE OF MARYLAND PROFESSIONAL ENGINEER
 STATE MARYLAND P.E.#56969

No.	REVISION
1	PRELIMINARY SUBMISSION FOR EROSION & SEDIMENT CONTROL REVIEW
2	PER PLANNING COUNTY COMMENTS
3	PER PLANNING COUNTY COMMENTS
4	PER PLANNING COUNTY COMMENTS
5	PER 10-9-2024 TAC MEETING

OWNER: DELMARVA POWER & LIGHT CO.
 P.O. BOX 9239
 NEWARK, DE 19714
 N/F KENT REAL ESTATE, LLC.
 TAX PARCEL 83
 DEED 999/290
 COMMERCIAL ZONING
 KENT COUNTY
 MATCH GRADE AT EXISTING GRAVEL

**FINAL MAJOR SITE PLAN
 LINES & GRADES / STORMWATER MANAGEMENT PLAN
 CHESTERTOWN SUBSTATION
 MORGNEC SOLAR PROJECT
 DELMARVA POWER & LIGHT CO.
 FOURTH ELECTION DISTRICT ~ KENT COUNTY ~ MARYLAND**

DATE: 3 MAY 2024
 SCALE: 1" = 20'
 PROJECT NO. 14362
 SHEET: 5 OF 8

EROSION AND SEDIMENT CONTROL STANDARDS AND SPECIFICATIONS FOR VEGETATIVE STABILIZATION

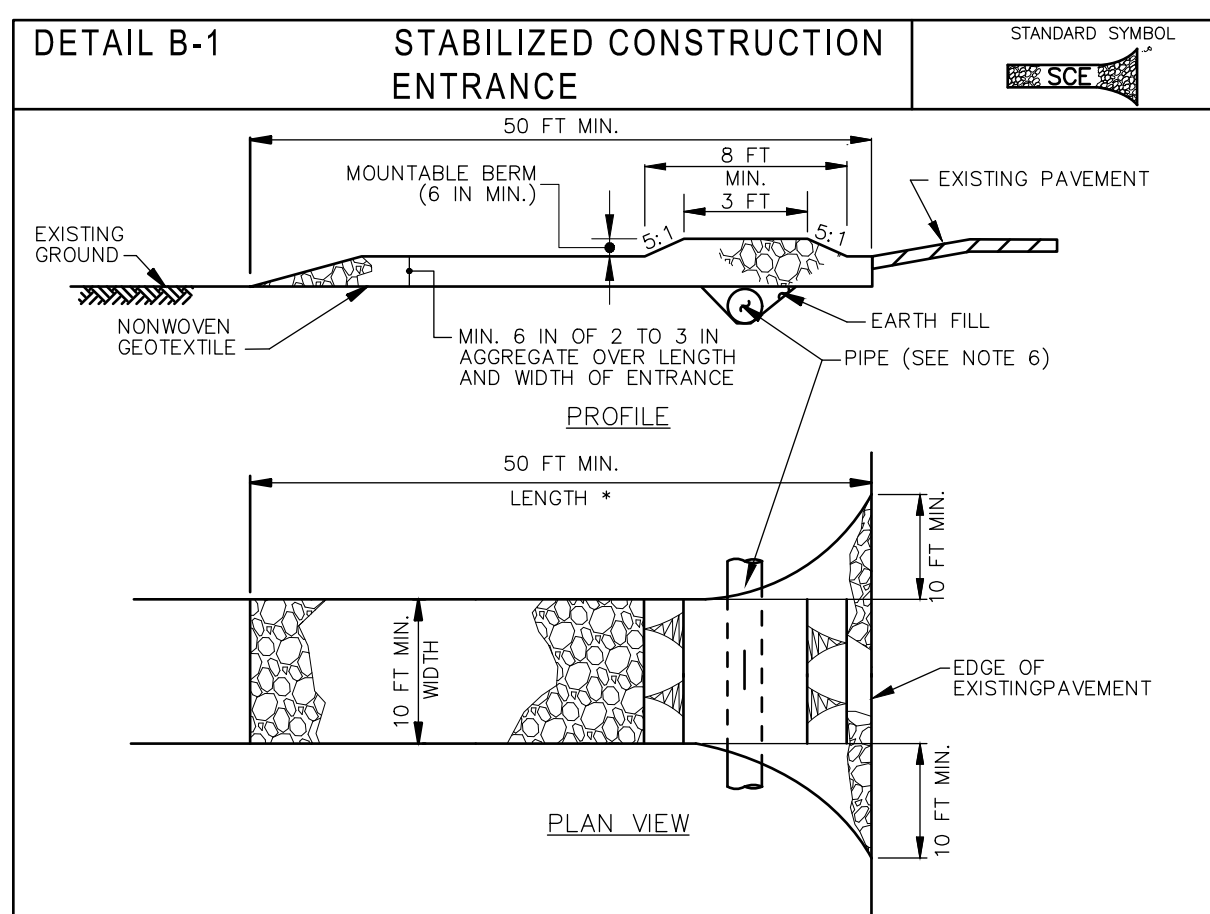
- Contractor shall install soil erosion and sediment control devices prior to any grading. Following initial disturbance or re-disturbance, permanent or temporary stabilization shall be completed within three (3) calendar days to the surface of all perimeter controls, ditches, swales, ditches, perimeter slopes greater than three (3) horizontal to one (1) vertical (3:1) and seven (7) days as to all other disturbed or graded areas on the project site not under active grading. All temporary erosion and sediment control devices are to be provided as indicated on this plan, with location adjustments to be made in the field as necessary, and to be maintained at the end of each working day until project completion. The minimum area practical shall be disturbed for the minimal amount of time possible.
- Clearing and grubbing shall include all trees, brush, debris, root mat and organic materials to be removed.
- Temporary seeding shall be accomplished between February 15th through April 30th, or August 15th through November 30th. During other times, temporary mulching shall be provided.
- Temporary seeding shall conform to the following applications: 436 lbs. per acre of 10-20-20; 4,000 lbs. per acre of ground limestone, to be incorporated into the soil by disking or other suitable means. Annual ryegrass shall be applied at a rate of 50 lbs. per acre using suitable equipment. Mulching shall be accomplished immediately after seeding.

Seed Mixture (For Hardiness Zone 7a) (From Table B.1)					Fertilizer Rate (10-20-20)	Lime Rate
No.	Species	Appl. Rate (lbs./ac.)	Seeding Dates	Seeding Depth		
	ANNUAL RYEGRASS	50#	2/15 - 4/30 8/15 - 11/30	1/2"	436 lb/ac 10 lb/ 1000 sf	2 lb/ac 90 lb/ 1000 sf
	BARLEY	95#	2/15 - 4/30 / 8/15 - 11/30	1"		
	OATS	72#	2/15 - 4/30 / 8/15 - 11/30	1"		
	WHEAT	108#	2/15 - 4/30 / 8/15 - 11/30	1"		
	CERIAL RYE	119#	2/15 - 4/30 / 8/15 - 12/15	1"		
	FOXTAIL MILLET	20#	8/1 - 8/14	1/2"		
	PEARL MILLET	20#	8/1 - 8/14	1/2"		

- Mulching shall be unchopped, unrotted, small grain straw applied at a rate of 2-2 1/2 tons per acre. Anchor mulch with a mulch anchoring tool on the contour. Wood cellulose fiber may be used for anchoring straw at a rate of 750 lbs. per acre mixed with water at a maximum of 30 lbs. of wood cellulose fiber per 100 gals. of water, or with a synthetic liquid binder according to manufacturer recommendations. Wood cellulose fiber used as mulch must be applied at a net dry weight of 1,500 lbs. per acre. Mix wood cellulose fiber with water to attain a mixture with a maximum of 50 lbs. of wood cellulose fiber per 100 gals. of water. Permanent seeding shall be accomplished between March 1st through May 15th, or August 15th through October 15th. Permanent seeding at other than specified times will be allowed only upon written approval. Permanent seeding shall conform to the following applications: Permanent seeding for sites having disturbed over five (5) acres shall use fertilizer rates recommended by a soil testing agency and the recommendations provided in the Permanent Seeding Summary Table. Permanent seeding for conditions other than listed above shall be performed at the rates and dates as provided in the Permanent Seeding Summary Table below. Fertilizer and lime amendments shall be incorporated into the top 3"-5" of the soil by disking or other suitable means. Mulching shall be accomplished as discussed in Item #6 of these specifications.

Seed Mixture (For Hardiness Zone 7a) (From Table B.1)					Fertilizer Rate (10-20-20)	Lime Rate
No.	Species	Appl. Rate (lbs./ac.)	Seeding Dates	Seeding Depth		
7	CRISPING RED FESCUE KENTUCKY BLUEGRASS	80# 15#	3/1-5/15 8/15-10/15	1/2"-3/4"	45 lb/ac 1 lb/ 1000 sf	90 lb/ac 2 lb/ 1000 sf
8	TALL FESCUE	100#	3/1-5/15 8/15-10/15	1/2"-3/4"		
9	TALL FESCUE KENTUCKY BLUEGRASS PERENNIAL RYEGRASS	80# 8# 20#	3/1-5/15 8/15-10/15	1/2"-3/4"		

- Any spoil or borrow will be placed at a site approved by the Soil Conservation District.
- All areas remaining or intended to remain disturbed for longer than seven (7) days, shall be stabilized in accordance with the USDA, Natural Resources Conservation Service Standards and Specifications for Soil Erosion and Sediment Control in developing areas for critical area stabilization.
- It will be the responsibility of the Contractor or Subcontractor to notify the Engineer of any deviation from this plan. Any change made in this plan without written authorization from the Engineer will place responsibility of said change on the Contractor or Subcontractor.

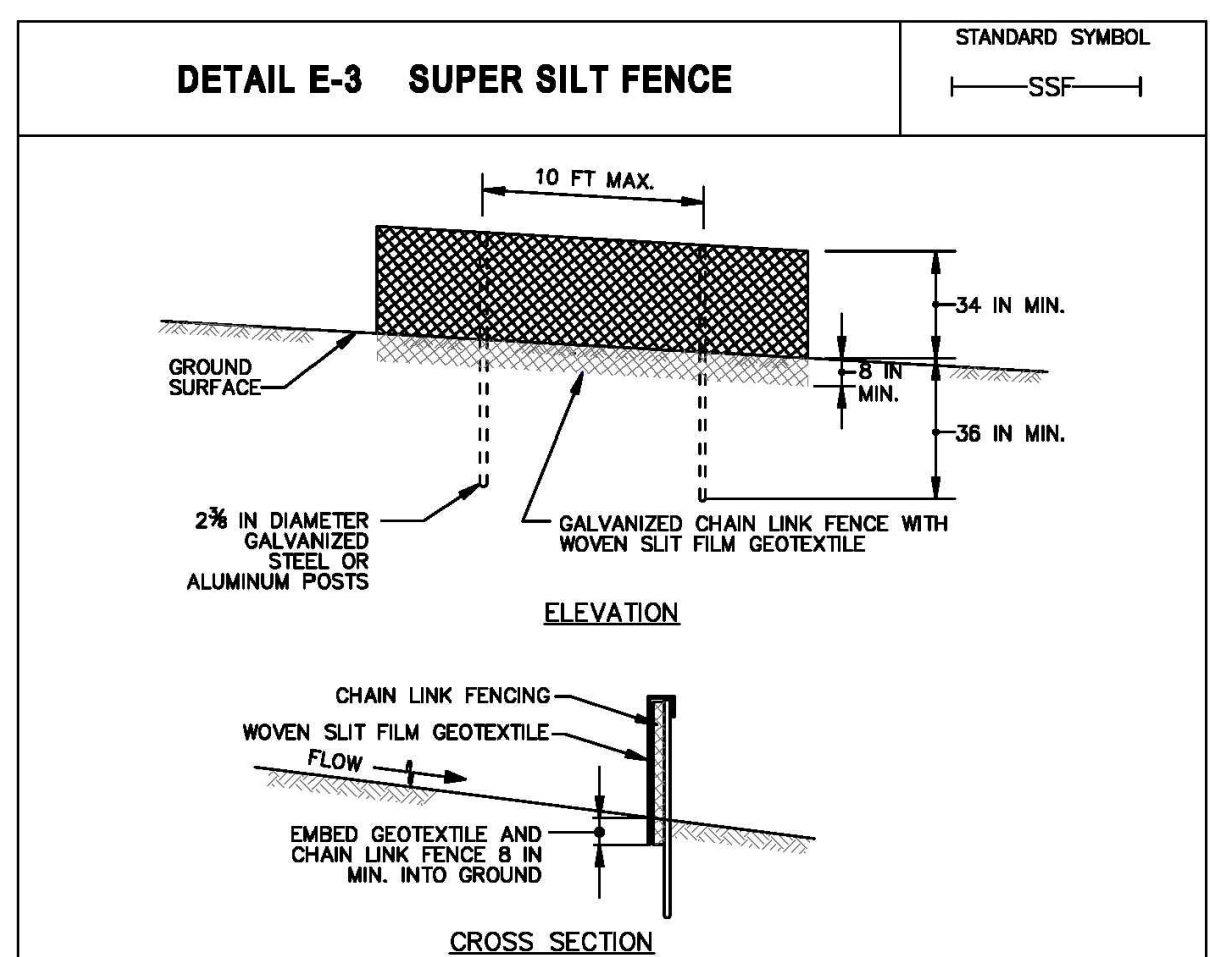


- CONSTRUCTION SPECIFICATIONS**
- PLACE STABILIZED CONSTRUCTION ENTRANCE IN ACCORDANCE WITH THE APPROVED PLAN. VEHICLES MUST TRAVEL OVER THE ENTIRE LENGTH OF THE SCE. USE MINIMUM LENGTH OF 50 FEET (*30 FEET FOR SINGLE RESIDENCE LOT). USE MINIMUM WIDTH OF 10 FEET. FLARE SCE 10 FEET MINIMUM AT THE EXISTING ROAD TO PROVIDE A TURNING RADIUS.
 - PIPE ALL SURFACE WATER FLOWING TO OR DIVERTED TOWARD THE SCE UNDER THE ENTRANCE, MAINTAINING POSITIVE DRAINAGE. PROTECT PIPE INSTALLED THROUGH THE SCE WITH A MOUNTABLE BERM WITH 5:1 SLOPES AND A MINIMUM OF 12 INCHES OF STONE OVER THE PIPE. PROVIDE PIPE AS SPECIFIED ON APPROVED PLAN. WHEN THE SCE IS LOCATED AT A HIGH SPOT AND HAS NO DRAINAGE TO CONVEY, A PIPE IS NOT NECESSARY. A MOUNTABLE BERM IS REQUIRED WHEN SCE IS NOT LOCATED AT A HIGH SPOT.
 - PREPARE SUBGRADE AND PLACE NONWOVEN GEOTEXTILE, AS SPECIFIED IN SECTION H-1 MATERIALS.
 - PLACE CRUSHED AGGREGATE (2 TO 3 INCHES IN SIZE) OR EQUIVALENT RECYCLED CONCRETE (WITHOUT REBAR) AT LEAST 6 INCHES DEEP OVER THE LENGTH AND WIDTH OF THE SCE.
 - MAINTAIN ENTRANCE IN A CONDITION THAT MINIMIZES TRACKING OF SEDIMENT. ADD STONE OR MAKE OTHER REPAIRS AS CONDITIONS DEMAND TO MAINTAIN CLEAN SURFACE, MOUNTABLE BERM, AND SPECIFIED DIMENSIONS. IMMEDIATELY REMOVE STONE AND/OR SEDIMENT SPILLED, DROPPED, OR TRACKED ONTO ADJACENT ROADWAY BY VACUUMING, SCRAPING, AND/OR SWEEPING. WASHING ROADWAY TO REMOVE MUD TRACKED ONTO PAVEMENT IS NOT ACCEPTABLE UNLESS WASH WATER IS DIRECTED TO AN APPROVED SEDIMENT CONTROL PRACTICE.

MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL
U.S. DEPARTMENT OF AGRICULTURE NATURAL RESOURCES CONSERVATION SERVICE 2011 MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

DETAIL: STABILIZED CONSTRUCTION ENTRANCE

SCALE: NO SCALE



- CONSTRUCTION SPECIFICATIONS**
- INSTALL 2 INCH DIAMETER GALVANIZED STEEL POSTS OF 0.095 INCH WALL THICKNESS AND SIX FOOT LENGTH SPACED NO FURTHER THAN 10 FEET APART. DRIVE THE POSTS A MINIMUM OF 36 INCHES INTO THE GROUND.
 - FASTEN 9 GAUGE OR HEAVIER GALVANIZED CHAIN LINK FENCE (3/8 INCH MAXIMUM OPENING) 42 INCHES IN HEIGHT SECURELY TO THE FENCE POSTS WITH WIRE TIES OR HUG RINGS.
 - FASTEN WOVEN SLIT FILM GEOTEXTILE AS SPECIFIED IN SECTION H-1 MATERIALS, SECURELY TO THE UPSLOPE SIDE OF CHAIN LINK FENCE WITH TIES SPACED EVERY 24 INCHES AT THE TOP AND MID SECTION. EMBED GEOTEXTILE AND CHAIN LINK FENCE A MINIMUM OF 8 INCHES INTO THE GROUND.
 - WHERE ENDS OF THE GEOTEXTILE COME TOGETHER, THE ENDS SHALL BE OVERLAPPED BY 6 INCHES, FOLDED, AND STAPLED TO PREVENT SEDIMENT BY PASS.
 - EXTEND BOTH ENDS OF THE SUPER SILT FENCE A MINIMUM OF FIVE HORIZONTAL FEET UPSLOPE AT 45 DEGREES TO THE MAIN FENCE ALIGNMENT TO PREVENT RUNOFF FROM GOING AROUND THE ENDS OF THE SUPER SILT FENCE.
 - PROVIDE MANUFACTURER CERTIFICATION TO THE INSPECTION/ENFORCEMENT AUTHORITY SHOWING THAT GEOTEXTILE USED MEETS THE REQUIREMENTS IN SECTION H-1 MATERIALS.
 - REMOVE ACCUMULATED SEDIMENT AND DEBRIS WHEN BULGES DEVELOP IN FENCE OR WHEN SEDIMENT REACHES 25% OF FENCE HEIGHT. REPLACE GEOTEXTILE IF TORN. IF UNDERMINING OCCURS, REINSTALL CHAIN LINK FENCING AND GEOTEXTILE.

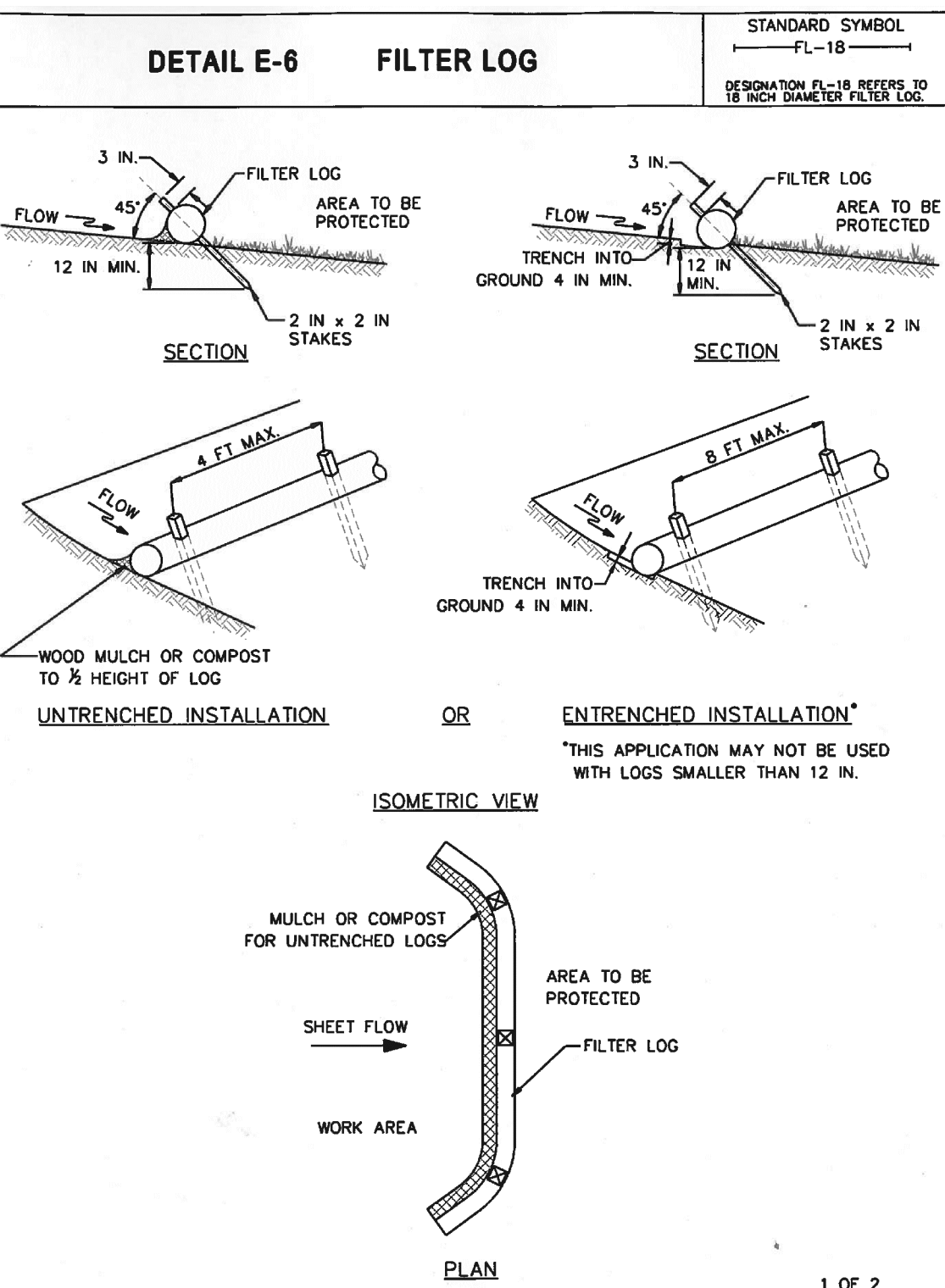
MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL
U.S. DEPARTMENT OF AGRICULTURE NATURAL RESOURCES CONSERVATION SERVICE 2011 MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

DETAIL: SUPER SILT FENCE

SCALE: NO SCALE

GENERAL SEDIMENT AND EROSION CONTROL NOTES:

- NOTIFICATION OF KENT COUNTY SEDIMENT AND EROSION CONTROL INSPECTOR AT 410-778-7437 AT LEAST FIVE (5) DAYS PRIOR TO THE START OF WORK.
- PRIOR TO THE START OF WORK, THE CONTRACTOR IS TO OBTAIN COUNTY APPROVAL OF ANY PROPOSED CHANGES AND SEQUENCE OF CONSTRUCTION, SPECIFICALLY RELATING TO INSTALLATION, INSPECTION, MAINTENANCE AND REMOVAL OF EROSION AND SEDIMENT CONTROL MEASURES.
- SEDIMENT CONTROL MEASURES ARE NOT TO BE REMOVED UNTIL THE AREAS SERVED HAVE ESTABLISHED VEGETATIVE COVER, OR WITH THE PERMISSION OF THE COUNTY SEDIMENT CONTROL INSPECTOR.
- WHEN PUMPING SEDIMENT-LADEN WATER, THE DISCHARGE MUST BE DIRECTED TO APPROVED SEDIMENT TRAPPING MEASURE PRIOR TO RELEASE FROM THE SITE.
- ALL TEMPORARY STOCKPILES ARE TO BE LOCATED WITHIN AREAS PROTECTED BY SEDIMENT CONTROL MEASURES, AND ARE TO BE TEMPORARILY STABILIZED.
- ALL SEDIMENT CONTROL DIKES, SWALES, BASINS AND FLOW LINES TO BASINS WILL BE TEMPORARILY SEEDED IMMEDIATELY UPON INSTALLATION TO REDUCE THE CONTRIBUTION TO SEDIMENT LOADING.
- DISPOSAL OF EXCESS EARTH MATERIALS ON STATE OR FEDERAL PROPERTY REQUIRES MDE APPROVAL, OTHERWISE MATERIALS ARE TO BE DISPOSAL OF AT A LOCATION APPROVED BY THE LOCAL AUTHORITY.
- TEMPORARY SOIL EROSION CONTROL AND SEDIMENT CONTROL MEASURES ARE TO BE PROVIDED AS PER THE APPROVED PLAN PRIOR TO GRADING OPERATION. LOCATION ADJUSTMENTS ARE TO BE MADE IN THE FIELD AS NECESSARY. THE MINIMUM AREA PRACTICAL SHALL BE DISTURBED FOR THE MINIMUM POSSIBLE TIME.
- IF GRADING IS COMPLETED OUT OF SEEDING SEASON, GRADED AREAS ARE TO BE TEMPORARILY STABILIZED BY MULCH AND MULCH ANCHORING. MULCH MATERIAL SHALL BE UN-WEATHERED, UN-CHOPPED SMALL GRAIN STRAW SPREAD AT THE RATE OF 1 1/2 TONS PER ACRE. MULCH ANCHORING TO BE ACCOMPLISHED BY AN APPROVED METHOD. USE OF A MULCH ANCHORING TOOL IS RECOMMENDED WHERE POSSIBLE.
- IMPLEMENTATION OF THE SEDIMENT CONTROL PLAN SHALL BE IN ACCORDANCE WITH THE '2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL', OF THE DEPARTMENT OF THE ENVIRONMENT.
- THE CONTRACTOR IS RESPONSIBLE FOR IMPLEMENTATION AND MAINTENANCE OF THE APPROVED PLAN, AND ALL OTHER MEASURES NECESSARY TO CONTROL, FILTER, OR PREVENT SEDIMENT FROM LEAVING THE SITE.
- IN CASES WHERE STORMWATER MANAGEMENT STRUCTURES ARE A PART OF SITE DEVELOPMENT, REMOVAL OF SEDIMENT CONTROL MAY NOT BE ACCOMPLISHED BEFORE THE CONTRIBUTING AREA TO THE STORMWATER MANAGEMENT STRUCTURE IS STABILIZED.
- ON SITES WHERE INFILTRATION TECHNIQUES ARE UTILIZED FOR THE CONTROL OF STORMWATER, EXTREME CARE MUST BE TAKEN TO PREVENT ALL RUNOFF FROM ENTERING THE STRUCTURE DURING CONSTRUCTION.
- SEDIMENT CONTROL FOR UTILITY CONSTRUCTION IN AREAS OUTSIDE OF DESIGNED CONTROLS:
A. EXCAVATED TRENCH MATERIAL SHALL BE PLACED ON THE HIGH SIDE OF THE TRENCH.
B. IMMEDIATELY FOLLOWING PIPE INSTALLATION THE TRENCH SHALL BE BACKFILLED, COMPACTED AND STABILIZED AT THE END OF EACH WORKING DAY.
C. TEMPORARY SILT FENCE OR STRAW BALE DIKES SHALL BE PLACED IMMEDIATELY DOWNSTREAM OF ANY DISTURBED AREA INTENDED TO REMAIN DISTURBED LONGER THAN ONE WORKING DAY.
- ALL POINTS OF CONSTRUCTION INGRESS AND EGRESS SHALL BE PROTECTED TO PREVENT TRACKING OF MUD ONTO PUBLIC WAYS.

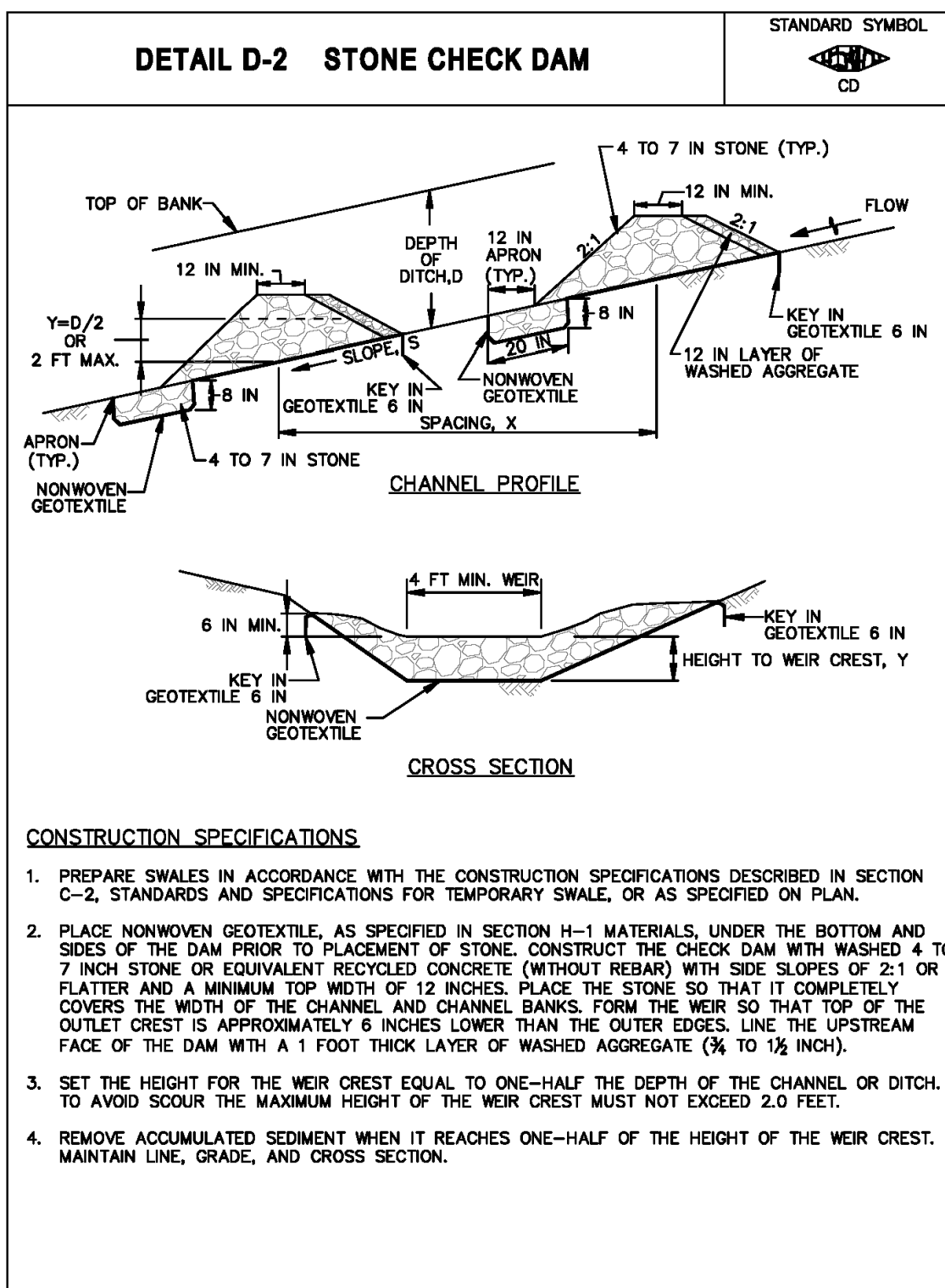


- CONSTRUCTION SPECIFICATIONS**
- PRIOR TO INSTALLATION, CLEAR ALL OBSTRUCTIONS INCLUDING ROCKS, CLODS, AND DEBRIS GREATER THAN ONE INCH THAT MAY INTERFERE WITH PROPER FUNCTION OF FILTER LOG.
 - FILL LOG NETTING UNIFORMLY WITH COMPOST (IN ACCORDANCE WITH SECTION H-1 MATERIALS), OR OTHER APPROVED BIODEGRADABLE MATERIAL TO DESIRED LENGTH SUCH THAT LOGS DO NOT DEFORM.
 - INSTALL FILTER LOGS PERPENDICULAR TO THE FLOW DIRECTION AND PARALLEL TO THE SLOPE WITH THE BEGINNING AND END OF THE INSTALLATION POINTING SLIGHTLY UP THE SLOPE CREATING A "J" SHAPE AT EACH END TO PREVENT BYPASS.
 - FOR UNTRENCED INSTALLATION BLOW OR HAND PLACE MULCH OR COMPOST ON UPHILL SIDE OF THE SLOPE ALONG LOG.
 - STAKE FILTER LOG EVERY 4 FEET OR CLOSER ALONG ENTIRE LENGTH OF LOG OR TRENCH LOG INTO GROUND A MINIMUM OF 4 INCHES AND STAKE LOG EVERY 8 FEET OR CLOSER.
 - USE STAKES WITH A MINIMUM NOMINAL CROSS SECTION OF 2X2 INCH AND OF SUFFICIENT LENGTH TO ATTAIN A MINIMUM OF 12 INCHES INTO THE GROUND AND 3 INCHES PROTRUDING ABOVE LOG.
 - WHEN MORE THAN ONE LOG IS NEEDED, OVERLAP ENDS 12 INCHES MINIMUM AND STAKE.
 - REMOVE SEDIMENT WHEN IT HAS ACCUMULATED TO A DEPTH OF 1/2 THE EXPOSED HEIGHT OF LOG AND REPLACE MULCH. REPLACE FILTER LOG IF TORN. REINSTALL FILTER LOG IF UNDERMINING OR DISLODGING OCCURS. REPLACE CLOSED FILTER LOGS. FOR PERMANENT APPLICATIONS, ESTABLISH AND CONTINUOUSLY MEET REQUIREMENTS FOR ADEQUATE VEGETATIVE ESTABLISHMENT IN ACCORDANCE WITH SECTION B-4 VEGETATIVE STABILIZATION.

MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL
U.S. DEPARTMENT OF AGRICULTURE NATURAL RESOURCES CONSERVATION SERVICE 2011 MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

DETAIL: COMPOST FILTER LOG

SCALE: NO SCALE

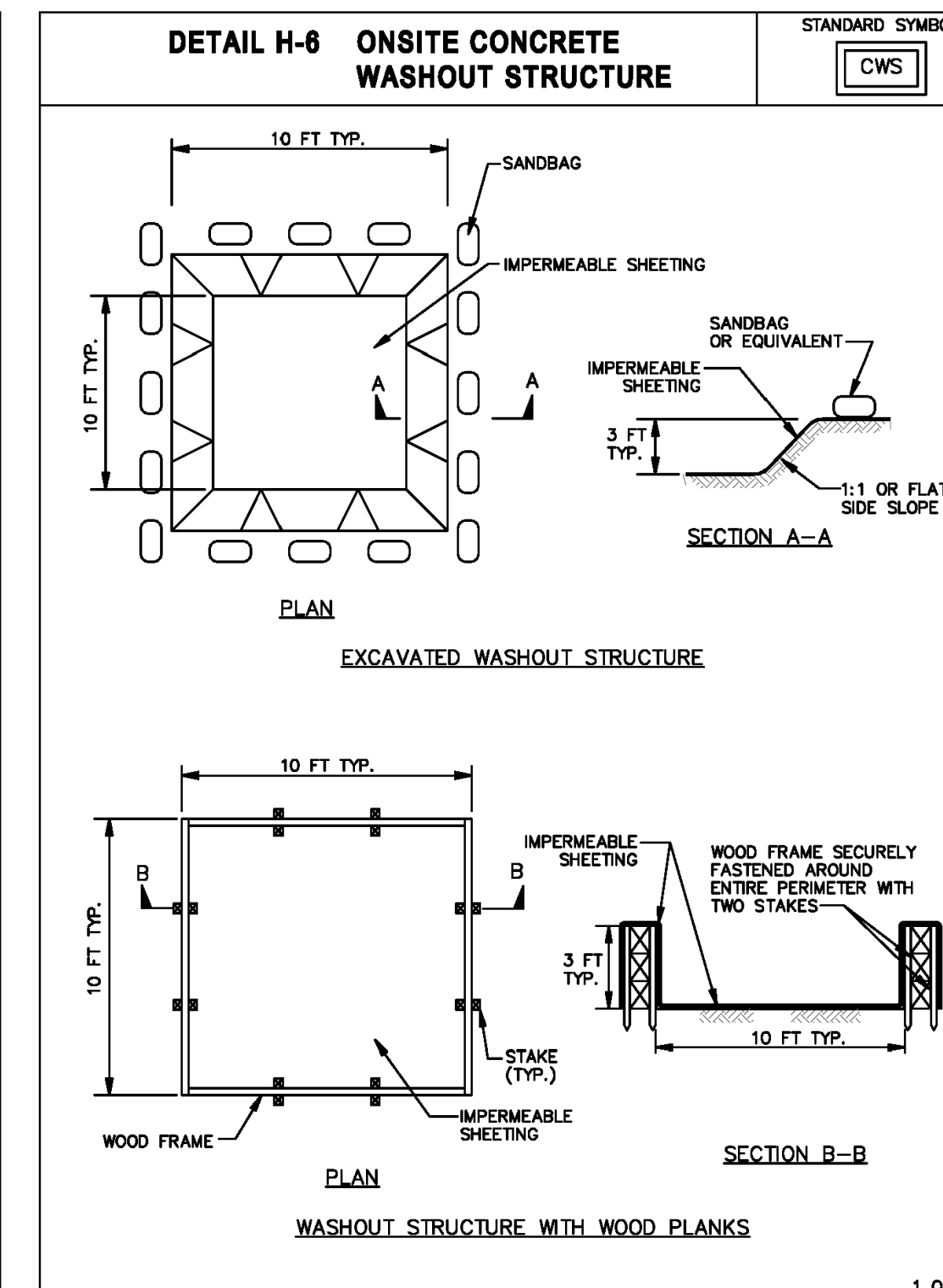


- CONSTRUCTION SPECIFICATIONS**
- PREPARE SWALES IN ACCORDANCE WITH THE CONSTRUCTION SPECIFICATIONS DESCRIBED IN SECTION C-2, STANDARDS AND SPECIFICATIONS FOR TEMPORARY SWALE, OR AS SPECIFIED ON PLAN.
 - PLACE NONWOVEN GEOTEXTILE, AS SPECIFIED IN SECTION H-1 MATERIALS, UNDER THE BOTTOM AND SIDES OF THE DAM PRIOR TO PLACEMENT OF STONE. CONSTRUCT THE CHECK DAM WITH WASHED 4 TO 7 INCH STONE OR EQUIVALENT RECYCLED CONCRETE (WITHOUT REBAR) WITH SIDE SLOPES OF 2:1 OR FLATTER AND A MINIMUM TOP WIDTH OF 12 INCHES. PLACE THE STONE SO THAT IT COMPLETELY COVERS THE WIDTH OF THE CHANNEL, AND CHANNEL BANKS. FORM THE WEIR SO THAT TOP OF THE OUTLET CREST IS APPROXIMATELY 6 INCHES LOWER THAN THE OUTER EDGES. LINE THE UPSTREAM FACE OF THE DAM WITH A 1 FOOT THICK LAYER OF WASHED AGGREGATE (3/4 TO 1 1/2 INCH).
 - SET THE HEIGHT FOR THE WEIR CREST EQUAL TO ONE-HALF THE DEPTH OF THE CHANNEL OR DITCH. TO AVOID SCOUR THE MAXIMUM HEIGHT OF THE WEIR CREST MUST NOT EXCEED 2.0 FEET.
 - REMOVE ACCUMULATED SEDIMENT WHEN IT REACHES ONE-HALF OF THE HEIGHT OF THE WEIR CREST. MAINTAIN LINE, GRADE, AND CROSS SECTION.

MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL
U.S. DEPARTMENT OF AGRICULTURE NATURAL RESOURCES CONSERVATION SERVICE 2011 MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

DETAIL: STONE CHECK DAM

SCALE: NO SCALE



- CONSTRUCTION SPECIFICATIONS**
- LOCATE WASHOUT STRUCTURE A MINIMUM OF 50 FEET AWAY FROM OPEN CHANNELS, STORM DRAIN INLETS, SENSITIVE AREAS, WETLANDS, BUFFERS AND WATER COURSES AND AWAY FROM CONSTRUCTION TRAFFIC.
 - SIZE WASHOUT STRUCTURE FOR VOLUME NECESSARY TO CONTAIN WASH WATER AND SOLIDS AND MAINTAIN AT LEAST 4 INCHES OF FREEBOARD. TYPICAL DIMENSIONS ARE 10 FEET X 10 FEET DEEP.
 - PREPARE SOIL BASE FREE OF ROCKS OR OTHER DEBRIS THAT MAY CAUSE TEARS OR HOLES IN THE LINER. FOR LINER, USE 10 MIL OR THICKER UV RESISTANT, IMPERMEABLE SHEETING, FREE OF HOLES AND TEARS OR OTHER DEFECTS THAT COMPROMISE IMPERMEABILITY OF THE MATERIAL.
 - PROVIDE A SIGN FOR THE WASHOUT IN CLOSE PROXIMITY TO THE FACILITY.
 - KEEP CONCRETE WASHOUT STRUCTURE WATER TIGHT. REPLACE IMPERMEABLE LINER IF DAMAGED (E.G., RIPPED OR PUNCTURED). EMPTY OR REPLACE WASHOUT STRUCTURE THAT IS 75 PERCENT FULL, AND DISPOSE OF ACCUMULATED MATERIAL PROPERLY. DO NOT REUSE PLASTIC LINER. WET-VACUUM STORED LIQUIDS THAT HAVE NOT EVAPORATED AND DISPOSE OF IN AN APPROVED MANNER. PRIOR TO FORECASTED RAINSTORMS, REMOVE LIQUIDS OR COVER STRUCTURE TO PREVENT OVERFLOWS. REMOVE HARDENED SOLIDS, WHOLE OR BROKEN UP, FOR DISPOSAL OR RECYCLING. MAINTAIN RUNOFF DIVERSION AROUND EXCAVATED WASHOUT STRUCTURE UNTIL STRUCTURE IS REMOVED.

MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL
U.S. DEPARTMENT OF AGRICULTURE NATURAL RESOURCES CONSERVATION SERVICE 2011 MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

DETAIL: ONSITE CONCRETE WASHOUT STRUCTURE

SCALE: NO SCALE

DUFFIELD ASSOCIATES
Soil, Water & the Environment
5400 LIMESTONE ROAD
WILMINGTON, DE 19808-1232
TEL: 302.239.6634
FAX: 302.239.8485
OFFICES IN DELAWARE, MARYLAND, PENNSYLVANIA AND NEW JERSEY
WEB: HTTP://DUFFIELD.COM
E-MAIL: DUFFIELD@DUFFIELD.COM

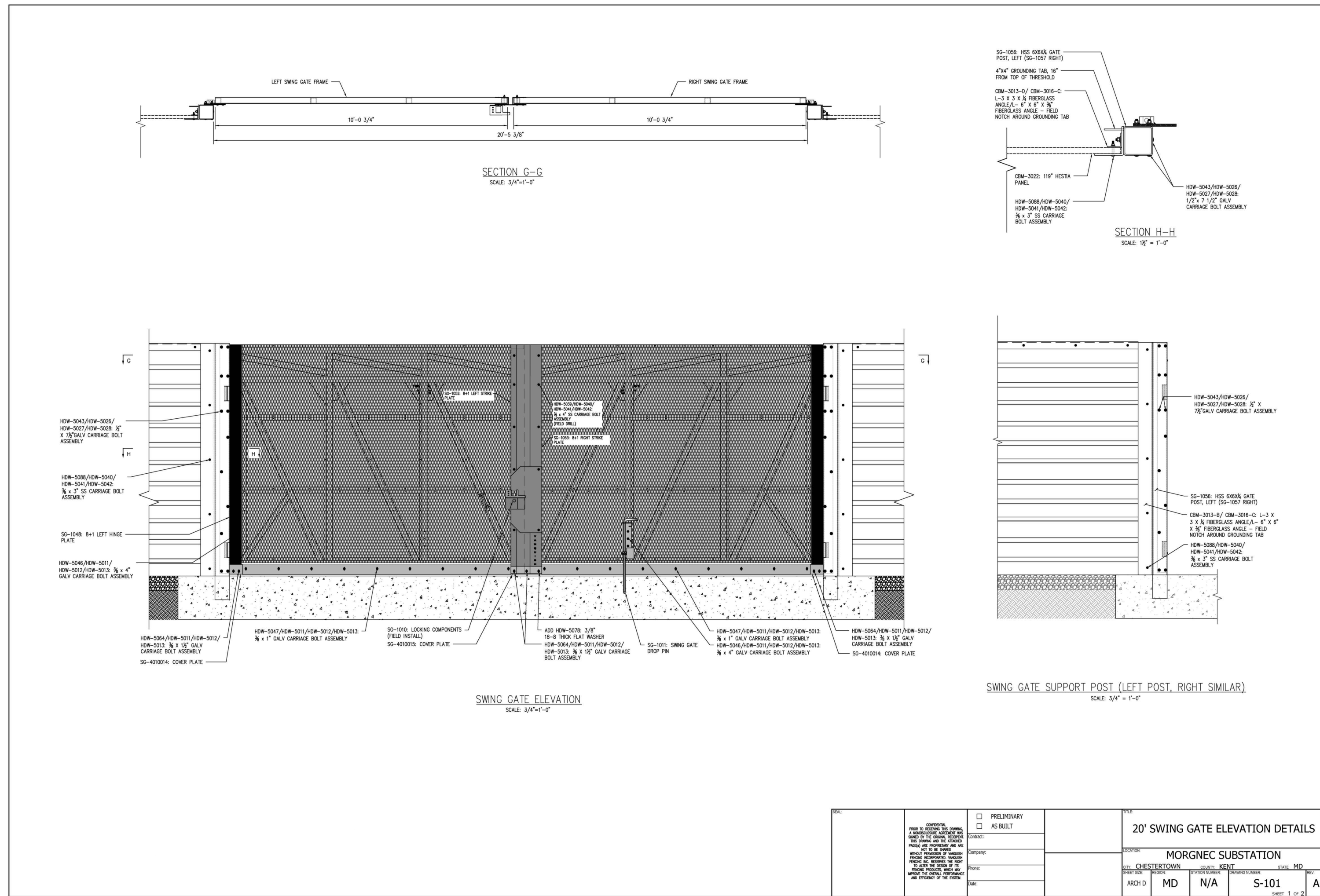
CHECKED BY: SHIP
DESIGNED BY: SHIP
DATE: 7-24-2024
FILE NAME: Final Major Site 14362
DRAWN BY: GAZ
KENNETH J. TAYLOR, JR., P.E.
STATE OF MARYLAND
DEPARTMENT OF ENVIRONMENT & NATURAL RESOURCES
DIVISION OF SOIL CONSERVATION
P.E. #56369

NO.	REVISION	DESCRIPTION
1	PRELIMINARY SUBMISSION FOR EROSION & SEDIMENT CONTROL REVIEW	
2	PER KENT COUNTY COMMENTS	
3	PER PLANNING COMMISSION COMMENTS 08-1-2024	
4	PER SOIL CONSERVATION DISTRICT COMMENTS	
5	PER 10/4-2024 TAC MEETING	

OWNER: DELMARVA POWER & LIGHT CO.
P.O. BOX 9239
NEWARK, DE 19714

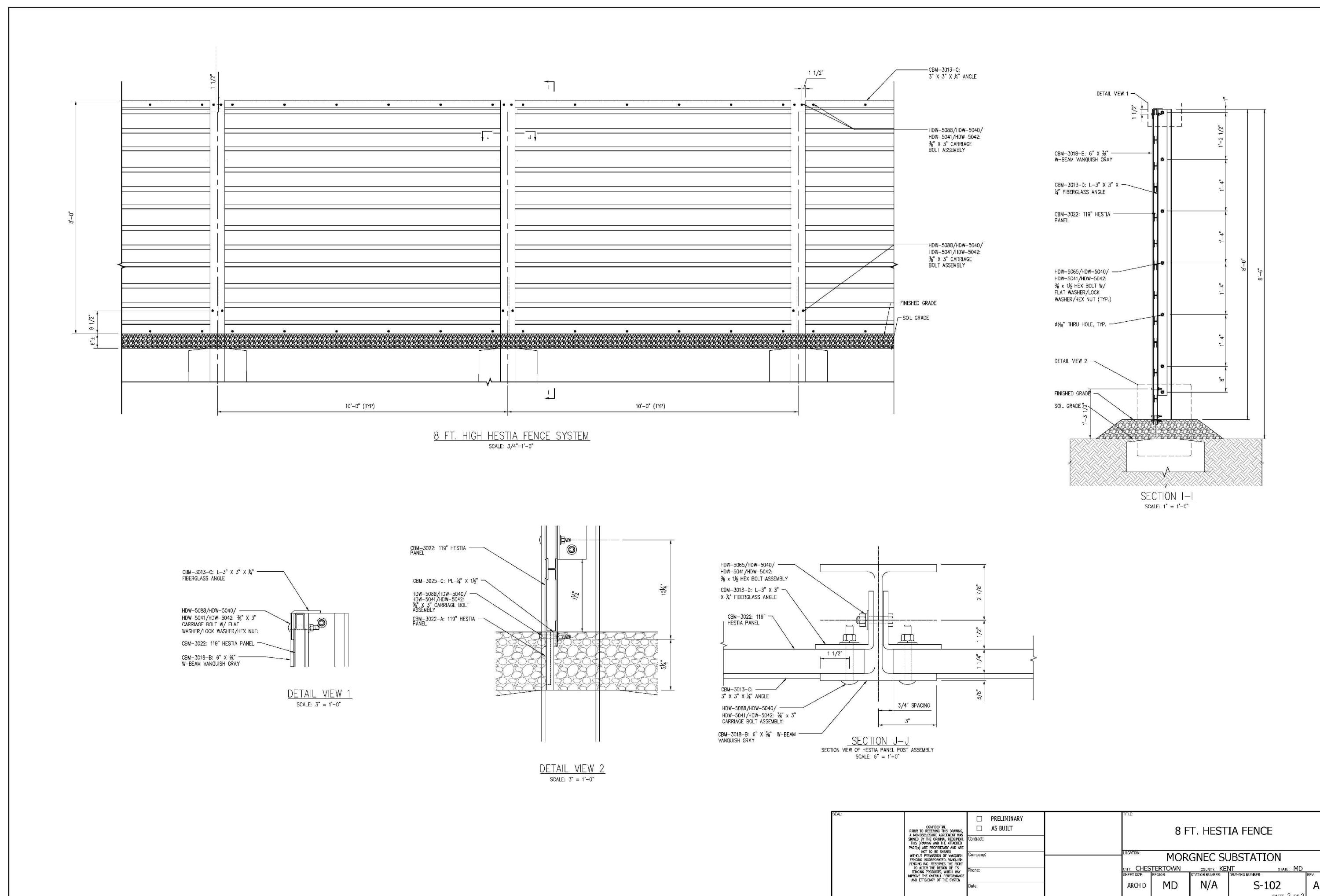
FINAL MAJOR SITE PLAN
EROSION & SEDIMENT CONTROL DETAILS
CHESTERTOWN SUBSTATION
MORGNEC SOLAR PROJECT
DELMARVA POWER & LIGHT CO.
FOURTH ELECTION DISTRICT ~ KENT COUNTY ~ MARYLAND

DATE: 3 MAY 2024
SCALE: AS NOTED
PROJECT NO. 14362
SHEET: 7 OF 8



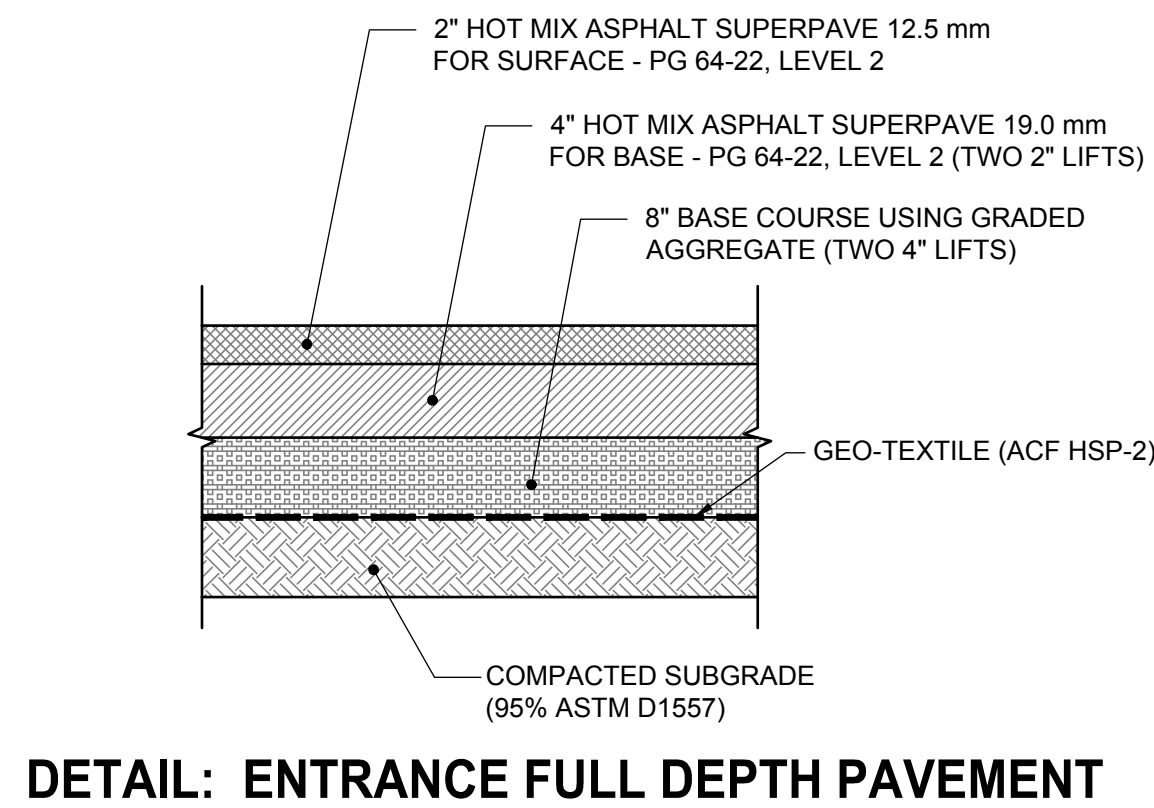
NO.	DESCRIPTION	DATE	BY	CHKD BY
1	PRELIMINARY			
2	AS-BUILT			

20' SWING GATE ELEVATION DETAILS	
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NO.	DATE
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2	1-14-12
3	1-14-12
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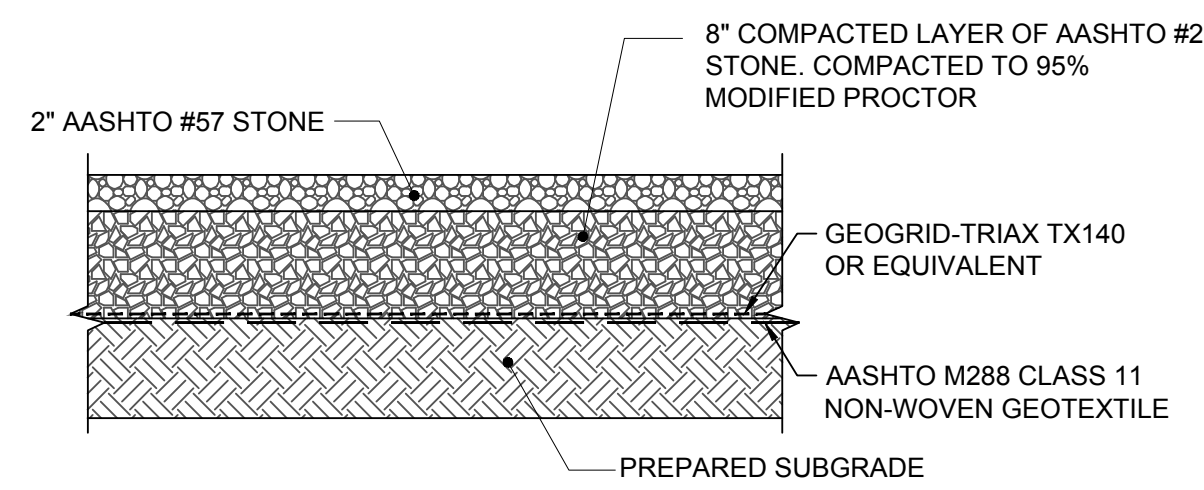


NO.	DESCRIPTION	DATE	BY	CHKD BY
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2	AS-BUILT			

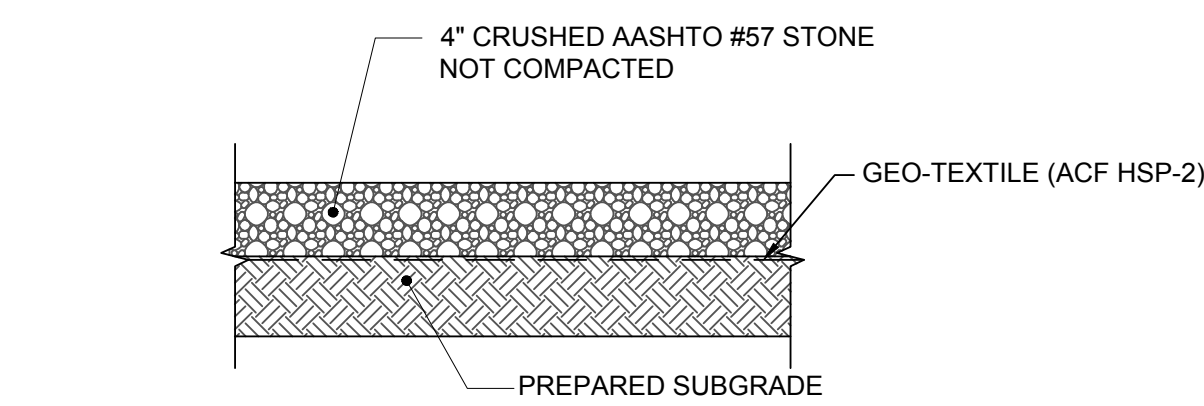
8 FT. HESTIA FENCE	
MORGNEC SUBSTATION	
NO.	DATE
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3	1-14-12
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6	1-14-12
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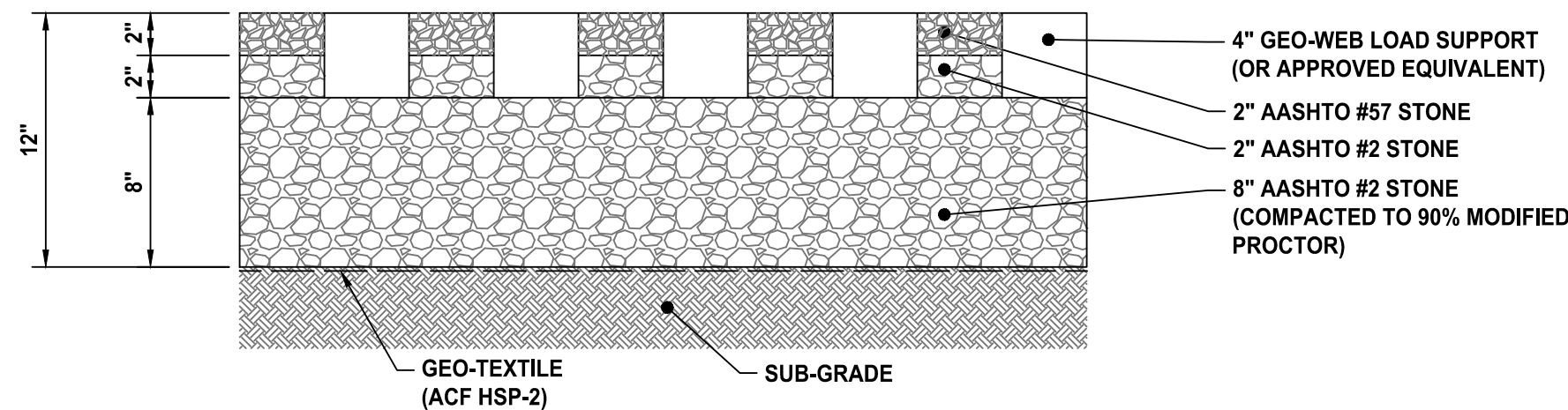


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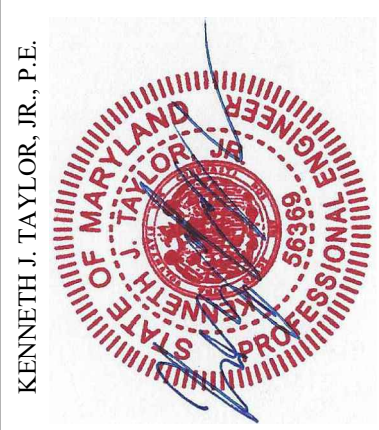


SCALE: NONE

- MAINTENANCE NOTES:**
- FOR THE FIRST 6 MONTHS FOLLOWING CONSTRUCTION, THE GEO-WEB SURFACE SHOULD BE INSPECTED AT LEAST TWICE AFTER STORM EVENTS THAT EXCEED 1/2" OF RAINFALL. CONDUCT ANY NEEDED REPAIRS OR STABILIZATION.
 - STABILIZE THE CONTRIBUTING AREA TO PREVENT EROSION AS NEEDED.
 - REMOVE ANY SOIL OR SEDIMENT DEPOSITED ON THE GEO-WEB.
 - REPLACE OR REPAIR ANY NECESSARY GEO-WEB AREA THAT IS DEGENERATING.



SCALE: NONE



CHECKED BY: SHIP
DESIGNED BY: SHIP
DRAWN BY: GAZ
FILE NAME: Final Major Site-14362
KENNETH J. TAYLOR, JR., P.E.

NO.	REVISION	DATE	BY	CHKD BY
1	PRELIMINARY SUBMISSION FOR EROSION & SEDIMENT CONTROL REVIEW	5-10-11		
2	PER KENT COUNTY COMMENTS	7-24-12		
3	PER PLANNING COMMISSION COMMENTS OF 8-1-2024	8-27-2024		
4	PER KENT COUNTY AND WATER CONSERVATION DISTRICT COMMENTS	9-2-2024		
5	PER 10-9-2024 TAC MEETING	10-11-2024		

OWNER: DELMARVA POWER & LIGHT CO.
P.O. BOX 8239
NEWARK, DE 19714

**FINAL MAJOR SITE PLAN
CONSTRUCTION DETAILS
CHESTERTOWN SUBSTATION
MORGNEC SOLAR PROJECT
DELMARVA POWER & LIGHT CO.
FOURTH ELECTION DISTRICT ~ KENT COUNTY ~ MARYLAND**



To: Kent County Planning Commission
From: Mark Carper, Associate Planner
Meeting: November 7, 2024
Subject: Sheila Beth Vanantwerp and Frank Joseph Lamont, Jr.
24-45, Variance – Side yard setback and buffer

Executive Summary

Request by Applicant

Ms. Vanantwerp and Mr. Lamont are requesting a 5.3-foot variance from the 15-foot side yard setback and a buffer variance in order to expand an existing dwelling within the 100-foot buffer to connect with a detached garage and to include the addition of a master bedroom.

Public Process

Per Maryland State Law and Article IX, Section 2.2 of the Kent County *Land Use Ordinance*, the Planning Commission shall review and make a recommendation to the Board of Appeals for variances.

Summary of Staff Report

The home was constructed prior to the adoption of the Critical Area Program, and much of the structure is within the 100-foot buffer. Due to the existing floor plan, the structural supports of the dwelling, and the location of the existing septic system in the rear yard, alternative expansion opportunities are limited. A buffer management plan consisting of a minimum of 1,280 square feet of Maryland native vegetation to be installed within the buffer is required. The Critical Area Commission has reviewed the application and has offered comments. The 2.356-acre property is located at 29303 Glencoe Road, Kennedyville, in the Second Election District and is zoned Critical Area Residential (CAR).

Staff Recommendation

Staff recommends forwarding a favorable recommendation to the Board of Appeals for approval of the requested variances with the following conditions:

- Submission and approval of a buffer management plan

PRELIMINARY STAFF REPORT

TO: Kent County Planning Commission
FROM: Mark Carper, Associate Planner
SUBJECT: Sheila Beth Vanantwerp and Frank Joseph Lamont, Jr.
24-45, Variance – Side yard setback and buffer
DATE: November 1, 2024

Description of Proposal

Ms. Vanantwerp and Mr. Lamont are requesting a 5.3-foot variance from the 15-foot side yard setback and a buffer variance in order to expand an existing dwelling within the 100-foot buffer to connect with a detached garage and to include the addition of a master bedroom. The 2.356-acre property is located at 29303 Glencoe Road, Kennedyville, in the Second Election District and is zoned Critical Area Residential (CAR).

Relevant Issues

I. Setback and Buffer Requirements

A. *Applicable Law:* The Kent County Land Use Ordinance, Article V, Section 5.5 establishes the setback requirements.

<u>Minimum yard</u>	
Front	50 feet
Side	15 feet
Rear	30 feet

Article V, Section 5.7.B.3.a establishes that development activities, including structures, roads, parking areas, and other impervious surfaces, mining, and related activities, or septic systems shall not be permitted within the minimum 100-foot buffer.

B. *Staff and TAC Comments:*

- The applicants are requesting a 5.3-foot variance from the 15-foot side yard setback and a buffer variance in order to expand an existing dwelling within the 100-foot buffer to connect with a detached garage and to include the addition of a master bedroom.
- The proposed development will create 416 square feet of new permanent disturbance in the buffer, which will require three times that amount of mitigation plantings within the buffer.
- The proposed development will create 32 square feet of increase in lot coverage outside of the buffer, which will require an equal amount of mitigation plantings within the buffer.
- A buffer management plan consisting of a minimum of 1,280 square feet of Maryland native vegetation to be installed within the buffer is required.

II. Variance

A. *Applicable Law:* Article IX, Section 2.2 of the Kent County Land Use Ordinance authorizes the Board of Appeals to grant variances from the yard (front, side, or rear), height, bulk, parking, loading, shoreline cliff, 15% slope, pier length, impervious surface, stream protection corridor, and buffer requirements so as to relieve practical difficulties or other injustices arising out of the strict application of the provisions of this Ordinance.

In the Critical Area, for a variance of 15% slope, impervious surface, or buffer requirements, it being the purpose of this provision to authorize the granting of variation only for reasons of demonstrable

and exceptional unwarranted hardship as distinguished from variations sought by applicants for purposes or reasons of convenience, profit, or caprice.

In order to grant a variance, the Board of Appeals must find all of the following:

- a. That the variance will not cause a substantial detriment to adjacent or neighboring property.
- b. That the variance will not change the character of the neighborhood or district.
- c. That the variance is consistent with the Comprehensive Plan and the general intent of this Ordinance.
- d. That the practical difficulty or other injustice was caused by the following:
 - i. Some unusual characteristic of size or shape of the property.
 - ii. Extraordinary topographical or other condition of the property.
 - iii. The use or development of property immediately adjacent to the property, except that this criterion shall not apply in the Critical Area.
- e. That the practical difficulty or other injustice was not caused by the applicant's own actions.
- f. That within the Critical Area for variances of 15% slope, impervious surface, or buffer requirements:
 - i. The granting of a variance will be in harmony with the general spirit and intent of the Critical Area Law and the regulations adopted by Kent County
 - ii. That the granting of a variance will not adversely affect water quality or adversely impact fish, wildlife, or plant habitat.
 - iii. That the application for a variance will be made in writing with a copy provided to the Critical Area Commission.
 - iv. That the strict application of the Ordinance would produce an unwarranted hardship.
 - v. Such hardship is not shared generally by other properties in the same zoning district and the same vicinity.
 - vi. The authorization of such variance will not be a substantial detriment to adjacent property and that the character of the district will not be changed by the granting of the variance.
 - vii. That a literal interpretation of this Ordinance deprives the applicant of rights commonly enjoyed by other properties in similar areas within the Critical Area of Kent County.
 - viii. That the granting of a variance will not confer upon an applicant any special privilege that would be denied by this Ordinance to other lands or structures.
 - ix. Due to special features of a site, or special conditions or circumstances peculiar to the applicant's land or structure, a literal enforcement of this Ordinance would result in unwarranted hardship to the applicant.
 - x. The Board of Appeals finds that the applicant has satisfied each one of the variance provisions.
 - xi. Without the variance, the applicant would be deprived of a use of land or a structure permitted to others in accordance with the provisions of the critical area program
- g. In considering an application for a variance, the Board shall consider the reasonable use of the entire parcel or lot for which the variance is requested.
- h. In considering an application for a variance, the Board of Appeals shall presume that the specific development activity in the Critical Area that is subject to the application and for which a variance is required does not conform with the general purpose and intent of this Ordinance and the Critical Area Law.
- i. The Board may consider the cause of the variance request and if the variance request is the result of actions by the applicant, including the commencement of development activity before an application for a variance has been filed.

B. *Staff and TAC Comments:*

- The Kent County Health Department has no objections to the application.
- SHA has no issues of concerns with County approval.
- The proposal is consistent with the Comprehensive Plan.
- Other dwellings in the area are non-conforming with current side yard and buffer regulations, and it is not anticipated that the proposed variance will create an adverse impact to the character of the neighborhood.
- The home was constructed prior to the adoption of the Critical Area Program, and much of the structure is within the 100-foot buffer. Due to the existing floor plan, the structural supports of the dwelling, and the location of the existing septic system in the rear yard, alternative expansion opportunities are limited. This practical difficulty was not caused by the applicants.
- The proposed activity will include updating components to meet modern energy efficiency requirements, upgrade of the electric services, and renovations designed for aging in place.
- No known adverse impact to water quality, fish, wildlife, or plant habitat will be caused by the proposed variance.
- The Critical Area Commission has reviewed the application and does not object to this variance.

Staff Recommendation

Staff recommends forwarding a favorable recommendation to the Board of Appeals for approval of the requested variances with the following conditions:

- Submission and approval of a buffer management plan

Wes Moore
Governor

Aruna Miller
Lt. Governor



Erik Fisher
Chair

Katherine Charbonneau
Executive Director

**STATE OF MARYLAND
CRITICAL AREA COMMISSION
CHESAPEAKE AND ATLANTIC COASTAL BAYS**

September 23, 2024

Mr. Mark Carper
Associate Planner, Kent County
400 High Street,
Chestertown, MD 21620

Re: Vanantwerp and Lamont Variance
Local case number 24-45

Dear Mr. Carper,

Thank you for submitting information regarding the above referenced Buffer variance request at 29303 Glencoe Road in Kennedyville. The 2.356-acre property is located in the Critical Area Residential (CAR) district, which is also referred to as the Limited Development Area. The property is waterfront to Freeman Creek and therefore a portion of the property is located within the 100-foot Critical Area Buffer. Most of the property is forested and it appears that a portion of the property immediately adjacent to Freeman Creek is possibly a waterfowl staging area.

The property is currently improved by a stone driveway, one story dwelling, detached garage with guest room, and dock. Most of the existing dwelling is within the 100-ft. Buffer. Both the dwelling and detached garage existed prior to the adoption of the County's Critical Area Program. The property was purchased in December 2013.

The applicants are seeking to expand the dwelling in a way that would connect the dwelling with the detached garage/guest room, and to add a master bedroom to the opposite side of the dwelling. If approved, the expansion would result in an additional 416 square feet of lot coverage in the Buffer. If approved, the overall lot coverage would increase by 448 square feet for a total of 9,273 sq. ft., which is within the amount of lot coverage allowed for a lot of this size.

The application materials explain that the proposed expansion was designed in a way to bring the plumbing and electric service of the dwelling up to code and avoid an existing well and septic system on the property. The application materials further explain that the design of the expansion was limited by the existing floor plan, structural support walls, and vehicular movement.

Please note that should the Board of Appeals grant this variance, the applicant must provide mitigation at a ratio of 3:1 for all disturbance to the Buffer, plus an additional 1:1 for the square-footage of canopy removed.

Thank you for the opportunity to provide comments. Please include this letter in your file and

submit it as part of the record for this variance. Also, in accordance with Natural Resources Article §8-1808(d)(6)(i), please provide the Commission with a copy of the Board of Appeals' written decision regarding this variance application within 10 working days after a written decision has been issued. If you have any questions, please feel free to contact me at 410-260-3479 or kathryn.hayden@maryland.gov.

Sincerely,

A handwritten signature in cursive script that reads "Kathryn Hayden".

Kathryn Hayden
Natural Resources Planner

File: KC 0233-24

CC: Nick Kelly, Critical Area Commission

BOARD OF APPEALS APPLICATION

Kent County Department of Planning, Housing and Zoning

Kent County Government Center
400 High Street • Chestertown, MD 21620
410-778-7475 (phone) • 410-810-2932 (fax)

IN THE MATTER OF THE APPLICATION OF:
(Name, Address and Telephone Number of Applicant)
Sheila Beth Vanantwerp & Frank Joseph Lamont, Jr.
29303 Glencoe Road
Kennedyville, Md., 21645-3301
Email: vanantwerp656@gmail.com

For Office Use Only:
Case Number/Date Filed: 8-26-21
Filed by: Bill Crowding
Applicant: _____
Planning Commission: _____
Date of Hearing: _____
Parties Notified: _____
Notice in Paper: _____
Property Posted: _____

Please provide the email of the one person who will be responsible for responding to comments. Only this person will be contacted by staff and will be the person responsible for forwarding the comments or requests for additional information to any other interested parties. EMAIL: wmc surveys@atlanticbb.net

TO THE KENT COUNTY BOARD OF APPEALS: In accordance with Article _____ Section _____ of the Kent County Zoning Ordinance, as amended, request is hereby made for:

_____ Appealing Decision of Kent County Zoning Administrator Variance
_____ Special Exception _____ Non-conforming Use

DESCRIPTION OF PROPERTY INVOLVED:

Located on: (Name of Road, etc.) 29303 Glencoe Road

In the Second Election District of Kent County.

Size of lot or parcel of Land: 2.356 acres

Map: 6 Parcel: 20 Lot #: N/A Deed Ref: S.L.K. 1226/127

List buildings already on property: One Story Brick Dwelling, Detached One Story Brick Garage and Guest Room

If subdivision, indicate lot and block number: _____

If there is a homeowners association, give name and address of association: None

PRESENT ZONING OF PROPERTY: C.A.R.

DESCRIPTION OF RELIEF REQUESTED: (List here in detail what you wish to do with property that requires the Appeal Hearing.) Requesting a 5.3 foot side yard setback variance in order to attach an existing detached garage to an existing single family dwelling. Requesting a 23 foot front yard setback variance from the required 100 foot setback from the approximate water line of Freeman Creek in order to construct an addition to the existing dwelling.

If appealing decision of Zoning Administrator, list date of their decision: _____

Present owner(s) of property: Sheila Beth Vanantwerp & Frank Joseph Lamont, Jr. Telephone: 610-368-4415

If Applicant is not owner, please indicate your interest in this property: _____

Has property involved ever been subject to a previous application? No.

If so, please give Application Number and Date: _____

PLEASE FILL IN BELOW, OR ATTACH HERETO, A SKETCH OF THIS PROPERTY.

List all property measurements and dimensions of any buildings already on the property.

Put distances between present buildings or proposed buildings and property lines.

NAMES OF ADJOINING PROPERTY OWNERS:

Owner(s) on the North: Jay H. and Tracy L. Sigman

Owner(s) on the South: Scotts Acres LLC.

Owner(s) to the East: Freeman Creek

Owner(s) to the West: Glencoe Road

Homeowners Association, name and address, if applicable: N/A

BY SIGNING THIS APPLICATION, I GRANT MEMBERS AND ALTERNATE OF THE BOARD OF ZONING APPEALS THE RIGHT TO ENTER ONTO THE PROPERTY FOR THE PURPOSE OF VIEWING THE SITE OF THE APPLICATION OR APPEAL.



Signature of Owner/Applicant/Agent or Attorney

8/26/24

Date

Please file this form at 400 High Street, Chestertown, MD 21620 accompanied by **\$350.00** filing fee made payable to the Board of Appeals. If you have any questions, contact Clerk at 410-778-7467.

NOTICE: Neither the Board of Appeals or the Planning Office is required to make out this Application. If the Planning Department assists you, it cannot be held responsible for its contents.

Applicants arriving more than 10 minutes after the scheduled hearing will not be heard and will be re-scheduled at the applicant's expense.

August 30, 2024

The Kent County Department of Planning, Housing and Zoning
County Government Center
400 High Street
Chestertown, Maryland 21620

Attention: Director of Planning, Housing and Zoning

Dear Director,

Sheila Beth Vanantwerp and Frank Joseph Lamont, Jr., are the owners of a 2.356 acre parcel of land located at 29303 Glencoe Road and indicated as Parcel 20 on Tax Map 6. The property is zoned Critical Area Residential, it is improved with a one story single family residence which is located partially within the 100 foot critical area buffer, and a detached garage with a small guest room. The Maryland Department of Taxation indicate the dwelling and detached garage were constructed in 1948.

The dwelling is located partially within the 100 foot setback from the approximate water line of Freeman Creek, it is very compact, has metal framed non-insulated windows and is in need of a complete upgrade of the electric service, heating and insulation. The owners would like to have dwelling remodeled and expanded in order to allow them to age in place. After discussions with an Architect and builders, the owners have been advised that in order to accomplish the renovation work and bring the dwelling up to code, it would be more cost efficient to expand the dwelling connecting it to the detached garage and to add a master bedroom to the opposite side of the dwelling. Due to the configuration of the existing dwelling, the location of structural components and the existing septic system which is located at the rear of the dwelling it is necessary to expand a small portion of the dwelling into the required 100 foot setback from the approximate water line of Freeman Creek. The existing detached garage currently meets the required side yard setback for an accessory building; however once it is attached to dwelling it will need a variance of 5.3 foot from the required 15 foot side yard setback. A portion of the proposed additions will need a 23 foot variance from the required 100 foot setback from the approximate water line of Freeman Creek.

- 1) Board of Appeals Application along with the required application fee.
- 2) Copy of the Existing Conditions Plat indicating all existing improvements.
- 3) Copy of the Proposed Conditions Plat.
- 4) Background explanation.
- 5) List of the Findings of Fact
- 6) Existing and Proposed lot coverage explanations.
- 7) Critical Area Lot Coverage Checklist
- 8) Set of the proposed construction plans.

SHEILA BETH VANANTWERP & FRANK JOSEPH LAMONT, JR.
29303 GLENCOE ROAD
KENNEDYVILLE, MARYLAND 21645-3301

BACKGROUND:

The property was purchased in December of 2013. According to Maryland Tax Assessment Records, the dwelling and detached garage/guest room were constructed in 1948. The dwelling has no insulation, the windows are metal framed and not insulated, and the electric service and plumbing do not meet the existing building code requirements. The owners would like to renovate the existing dwelling making it more energy efficient, provide the ability for them to age in place and bring all utilities up to code.

The owners had originally hoped to just renovate existing dwelling and detached garage, however after meetings at the site with their builder and architect they have all come to the conclusion that in order to accomplish the renovation work and bring the dwelling up to code, it would be more efficient to expand the dwelling connecting it to the detached garage and to add a master bedroom to the opposite side of the dwelling.

Due to the configuration of the existing dwelling, the location of structural components within the dwelling and the existing septic system which is located at the rear of the dwelling it is necessary to expand a small portion of the dwelling into the required 100 foot setback from the approximate water line of Freeman Creek. The proposed addition will be located further from the required 100 foot setback than the existing structure and will allow for a smooth flow of movement through the dwelling while not effecting any of the existing load bearing portions of the existing structures.

REFERENCE: Shelia Beth Vanantwerp and Frank Joseph Lamont, Jr.

FINDINGS OF FACT:

- a.** This variance will not cause any detriment to adjacent neighboring properties.
The proposed addition will enhance the appearance of neighborhood.
The neighborhood predominantly consists of a mix of new and older single family dwelling units which are all very well maintained. Other properties in this zoning district have similar setbacks from the side boundary lines and the approximate water line of Freeman Creek.
- b.** This variance will be in harmony with the character of the neighborhood and district.
The proposed addition will be consistent with other dwellings in the neighborhood. There are dwellings throughout the area located within 5 to 10 feet of the side lot boundary lines.
There are dwellings in the area partially located within the 100 foot shore buffer.
- c.** This variance is consistent with the comprehensive plan as this dwelling will be more energy efficient, visually pleasing, and will add to the value of the tax base. A new nitrogen removal septic system has been installed replacing an aged and outdated system which will theoretically reduce the amount of pollutants entering into the Chesapeake Bay and its tributaries.
- d.** The practical difficulty is caused by the existing floor plan and structural support walls limit the direction any renovations can expand. The property configuration and the B.A.T. septic system limit the location for vehicular movement.
- e.** The practical difficulty exist because of the configuration of the property, the existing dwelling being located partially within the required 100 foot setback from the approximate water line of Freeman Creek and detached garage.
- f.**

 - i.** This variance will be in harmony with the general spirit and intent of the Critical Area Law and the regulations adopted by Kent County.
This lot was created was created prior to the adoption of the Kent County Comprehensive Zoning Ordinance.
 - ii.** The granting of this variance will not adversely affect water quality or adversely impact fish, wildlife, or plant habitat. The proposed addition will not extend into the buffer as far as the existing dwelling. A storm water management plan will be submitted which will reduce the amount of storm water runoff from this property into the Freeman Creek. A buffer enhancement plan will be submitted and will be planted at a 3:1 ratio for the proposed disturbance which will further enhance water quality.
 - iii.** This application for the variance has been made in writing and has with a copy provided to the Critical Area Commission.
 - iv.** The strict application of the Ordinance would produce an unwarranted hardship. The existing dwelling is located almost entirely within the 100 buffer and was constructed in 1948, prior to the 100 foot setback requirement.
Even though this property is 2.356 acres it has a very limited amount of buildable area. The majority of the property outside of the 100 foot buffer is not buildable do to the existing slope and woodland. The unimproved area directly to the rear of the existing dwelling is currently being used for vehicular parking and is the remaining area suitable for replacement of the sanitary sewer if ever needed,

- v. This hardship is not shared generally by other properties in the same zoning district and same vicinity. Other properties in the same zoning district and same vicinity have dwellings that were constructed out of the 100 buffer or are located within the 100 buffer, but in a designated Buffer Modified Area.
- vi. The authorization of this variance will not be a substantial detriment to adjacent properties and the character of the district will not be changed by the granting of this Variance. There are properties along Glencoe Road and Freeman Creek that have dwellings and outbuildings located within the 100 foot buffer and dwelling located closer than the required side yard setbacks.
- vii. A literal interpretation of this Ordinance would deprive the applicant of rights commonly enjoyed by other properties in similar areas within the Critical Area of Kent County. Other properties in the same within the Critical Area of Kent County have dwellings that were constructed out of the 100 buffer or are located within the 100 buffer, but in a designated Buffer Modified Area.
- viii. The granting of this variance will not confer upon this applicant any special privilege that would be denied by this Ordinance to other lands or structures. Other properties located in the area have been granted permits to construct additions to existing dwellings and to construct new or replacement dwellings.
- ix. The size and configuration of this lot presents special conditions and circumstances which would result in unwarranted hardship to the applicant. This property is 2.356 acres, however the majority of the property located to the south of the existing stone driveway slopes away to the south leaving only a small portion of the property which can be used for building purposes. The area to rear of the existing dwelling is currently being used as parking for the two personal vehicles and placement of the B.A.T. Septic System. The existing dwelling is located almost entirely within the 100 buffer and was constructed in 1948, prior to the 100 foot setback requirement. The Maryland Department of Environmental Health has indicated they would like to keep the area to the rear of the existing dwelling free for any replacement of the sanitary sewer system in the event the existing septic sewerage reserve areas which are currently located on the limited area along the south side of the stone driveway should fail in the future.
- x. Without the variance, the applicant would be deprived of a use of the land or structure permitted to others in accordance with the provisions of the critical area program. Other properties in the same within the Critical Area of Kent County have dwellings that were constructed out of the 100 buffer or are located within the 100 buffer, but in a designated Buffer Modified Area.

SHEILA BETH VANANTWERP & FRANK JOSEPH LAMONT, JR.

29303 GLENCOE ROAD

TAX MAP 6, PARCEL 20

PROPERTY IS ZONED CAR

TOTAL AREA OF PROPERTY = 102,632 SQUARE FEET ±

LOT COVERAGE ALLOWED 15,394 SQUARE FEET

EXISTING COVERAGE

DWELLING & OVERHANGS.....959 SQ. FT.
DETACHED GARAGE & OVERHANGS.....837 SQ. FT.
SLATE WALK.....176 SQ. FT.
BRICK PATIO..... 359 SQ. FT.
STONE DRIVEWAY.....6,494 SQ. FT.
TOTAL EXISTING COVERAGE =.....8,825 SQ. FT.

RESULTING COVERAGE

DWELLING & OVERHANGS.....2,574 SQ. FT.
BRICK PATIO.....359 SQ. FT.
STONE DRIVE.....6,340 SQ. FT.
TOTAL RESULTING COVERAGE.....9,273 SQ. FT.

NEW COVERAGE WITHIN 100 FOOT BUFFER

DWELLING & OVERHANG.....416 SQ. FT.



**Kent County Department of Planning and Zoning
Critical Areas Lot Coverage Checklist**

Following is a list of items meant to simplify lot coverage calculations on permits for building in Critical Areas. Any development item must be listed as existing or proposed as restrictions apply to new lot coverage created in a Critical Area. See acreage calculations listed below for lot coverage limits on your parcel.

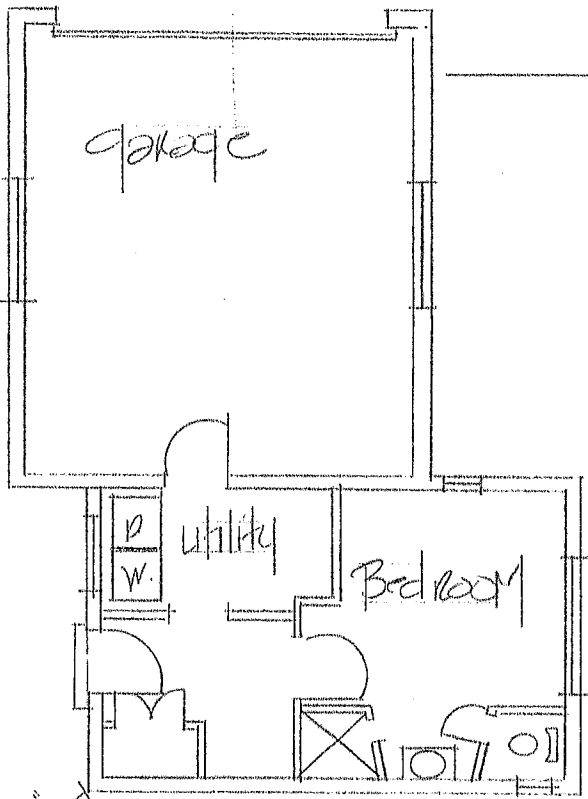
	Existing Lot Coverage (sq. ft.)	Proposed Lot Coverage (sq. ft.)	Total Lot Coverage (sq. ft.)
New or Existing Single Family Dwelling (including roof overhangs)	959	2,574	2,574
Decks/porches (without spaces to allow water to pass through freely)	359	359	359
Driveway/sidewalks (gravel, dirt, paved)	6,670	6,340	6,340
Detached/attached garage	837	0	0
Outbuildings (sheds, gazebos, boat houses)	0	0	0
Swimming pools (including any concrete areas or decking)	0	0	0
Tennis courts	0	0	0
Other (barbeque pits, concrete slabs)	0	0	0
Guest or tenant houses	0	0	0
Proposed additions	0	0	0
Totals:	8,825	9,273	9,273

Lots Created prior to July 1, 2008

<i>Lot Coverage Limit</i>	<i>Lot Size</i>
* 15%	(36,301 sq. ft. or more)
* 5,445 sq. ft.	(21,781 - 36,300 sq. ft.)
* 31.25%	(8,001 - 21,780 sq. ft.)
*25%	(8,000 sq. ft. or less)

Lots Created after July 1, 2008

Lot Coverage Limit: 15%



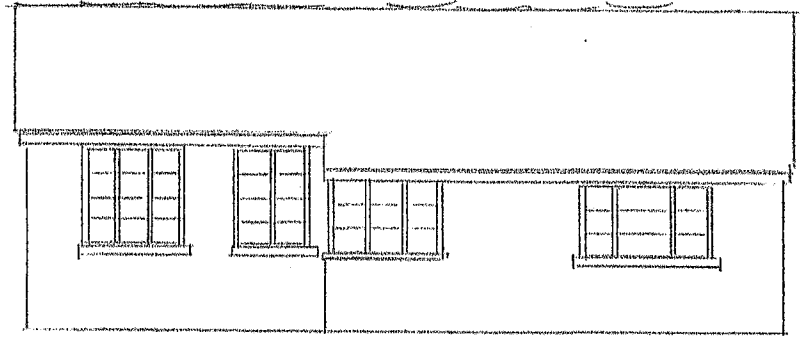
EXISTING Garage Studio
SCALE = 1/4" = 1'-0"

Mr. Frank Lamont
Mrs. Della Yamantwoop
1950 S. GERRARD ST. E.
DETROIT, MICH. 48215

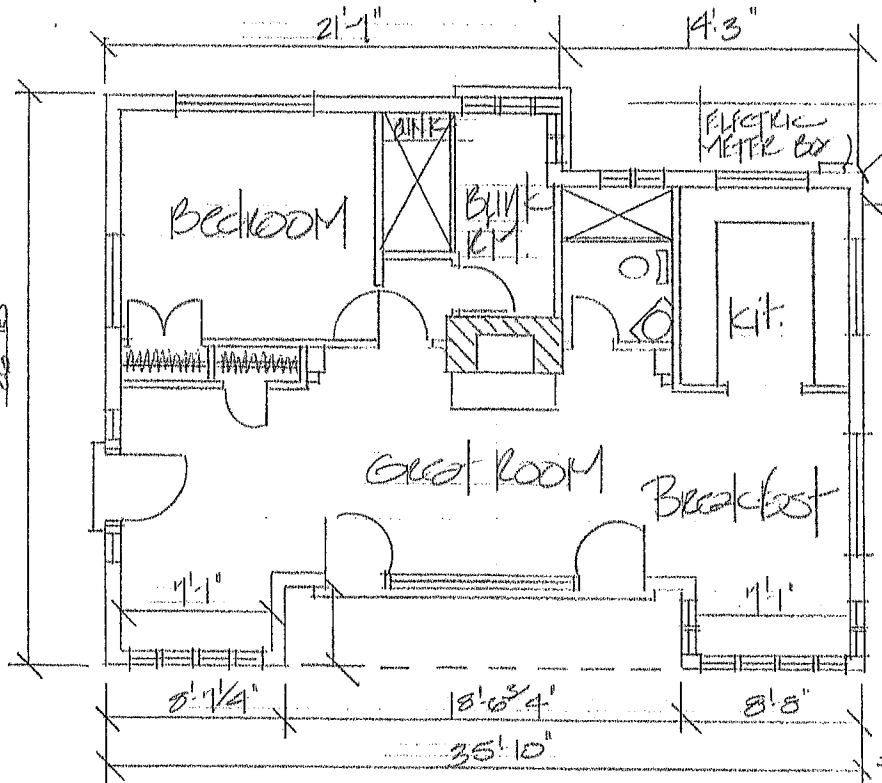
PLANS FOR:

South & Main Descals Inc.

PO BOX 211 CRESTWOOD MD 21220
1-410-718-2626

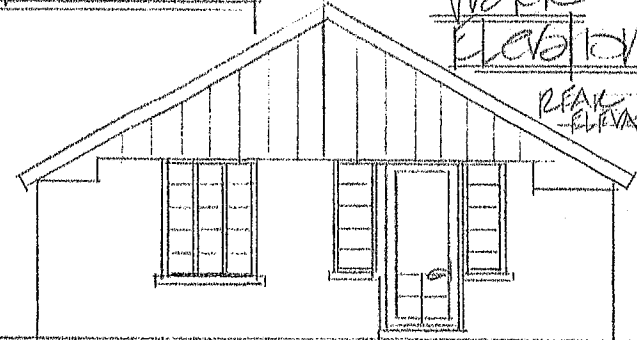


Street Elevation FRONT ELEVATION



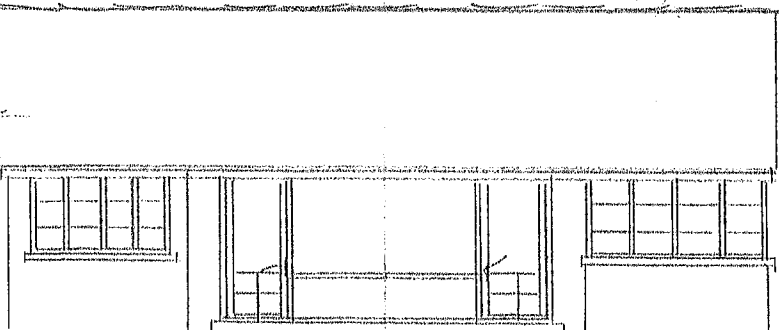
EXISTING Floor Plan
SCALE: 1/4" = 1'-0"

FRONT Elevation

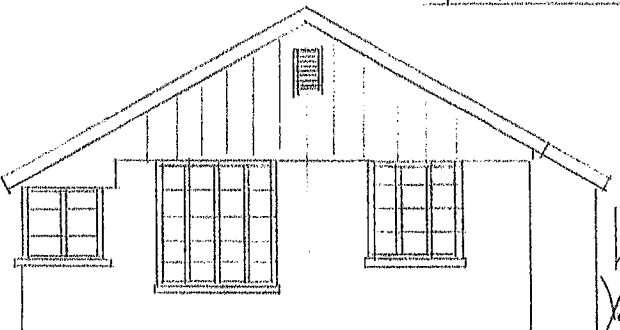


WALK Elevation

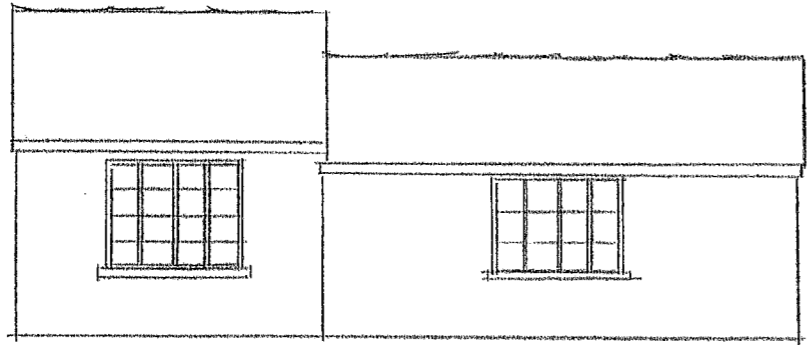
REAR Elevation



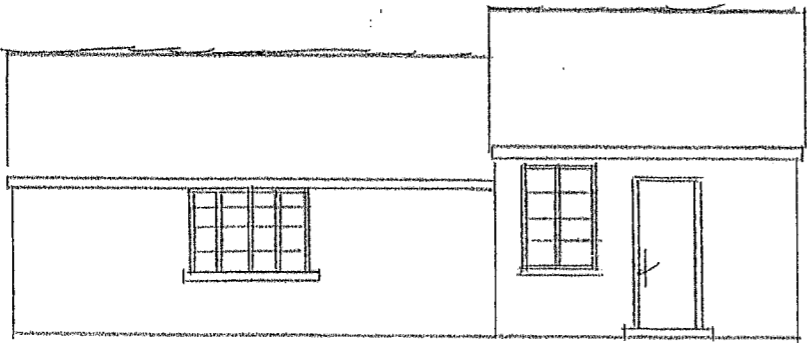
Left Elevation



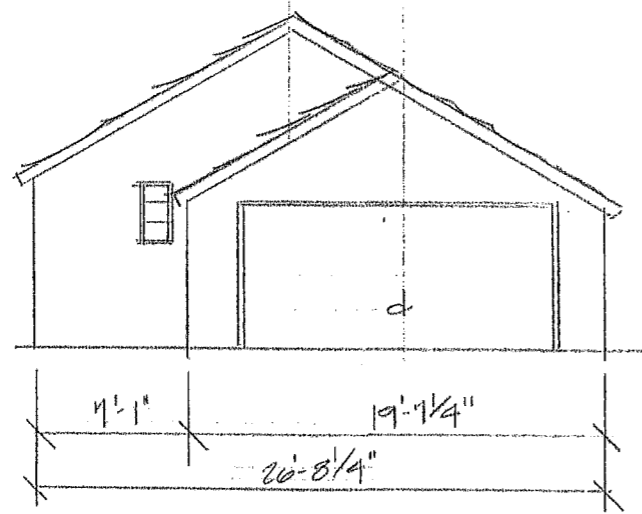
LAMONT & YAMANTWOOP (E-1)



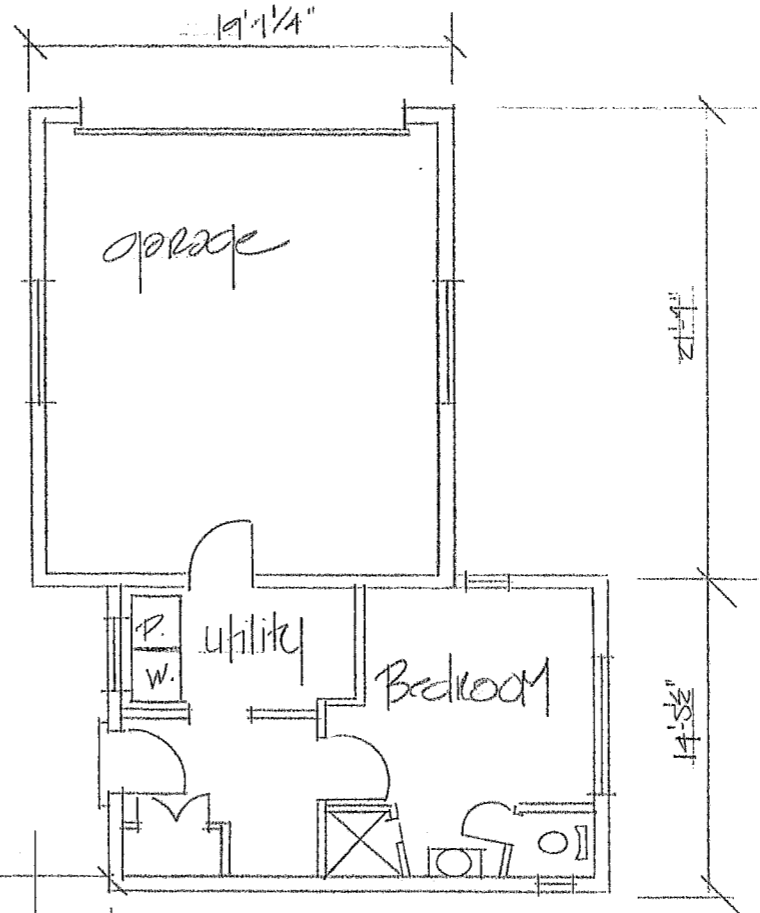
Left Elevation



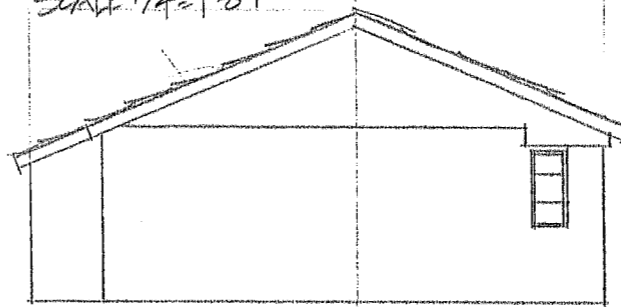
Right Elevation



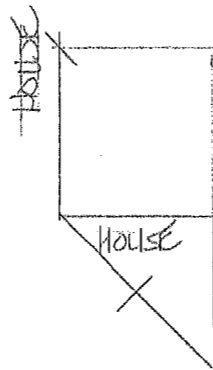
Side Elevation FRONT ELEVATION



Garage Studio
SCALE: 1/4" = 1'-0"



WATER ELEVATION REAR ELEVATION

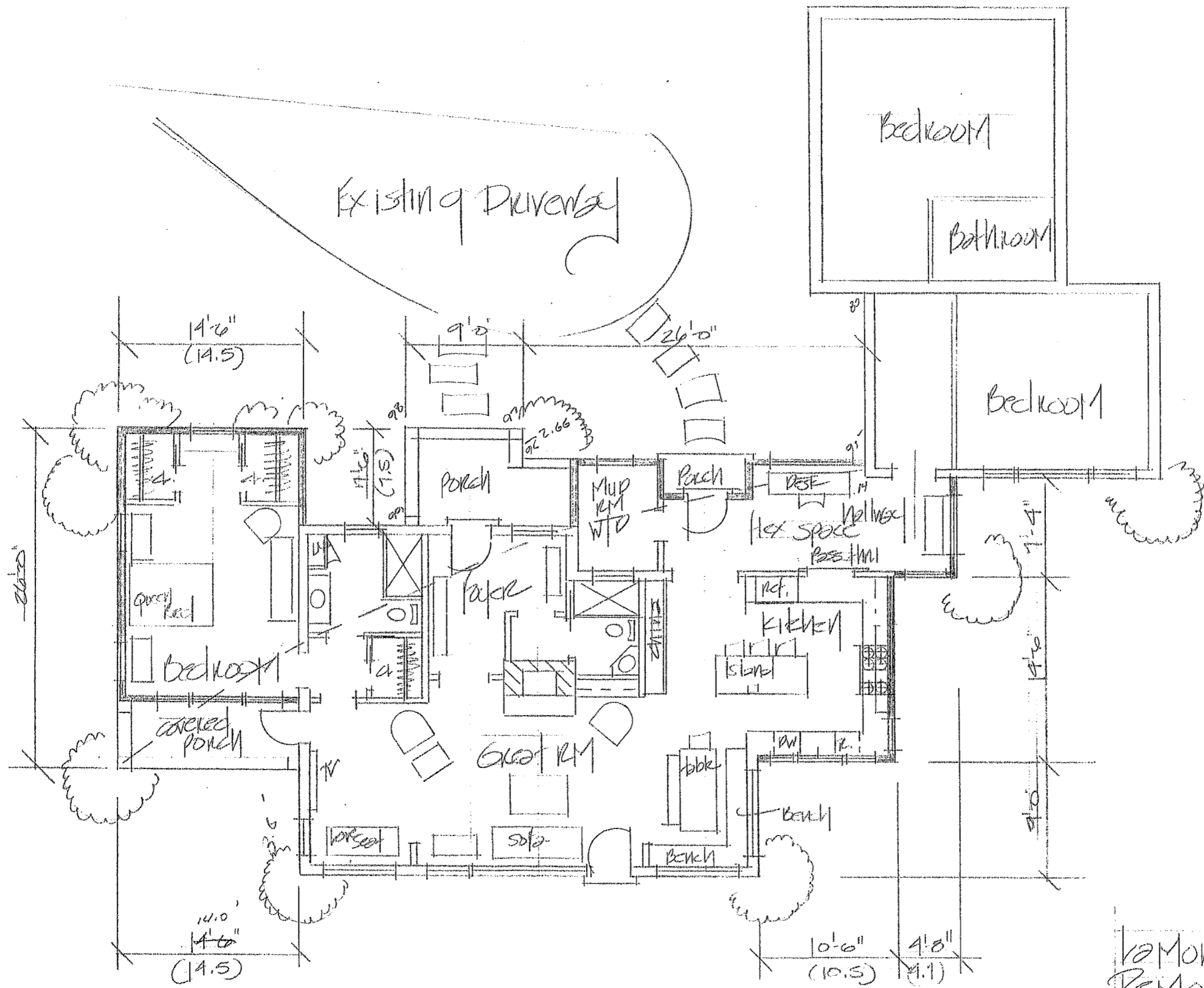


Mr. Frank Lamont
Mrs. Sheila VanAntwerp
29305 Georges Road
Hollywood, MD 21645

Plans for:

South & Mail Designs Inc.

P.O. Box 211 Chestertown, MD 21620
Tel: 410-398-2832



Mr. Frank Lamont
 Mrs. Sheila VanWerp
 19505 GEORGE ROAD
 PLYMOUTH, MD 20845

Plans for:

South & Main Designs LLC

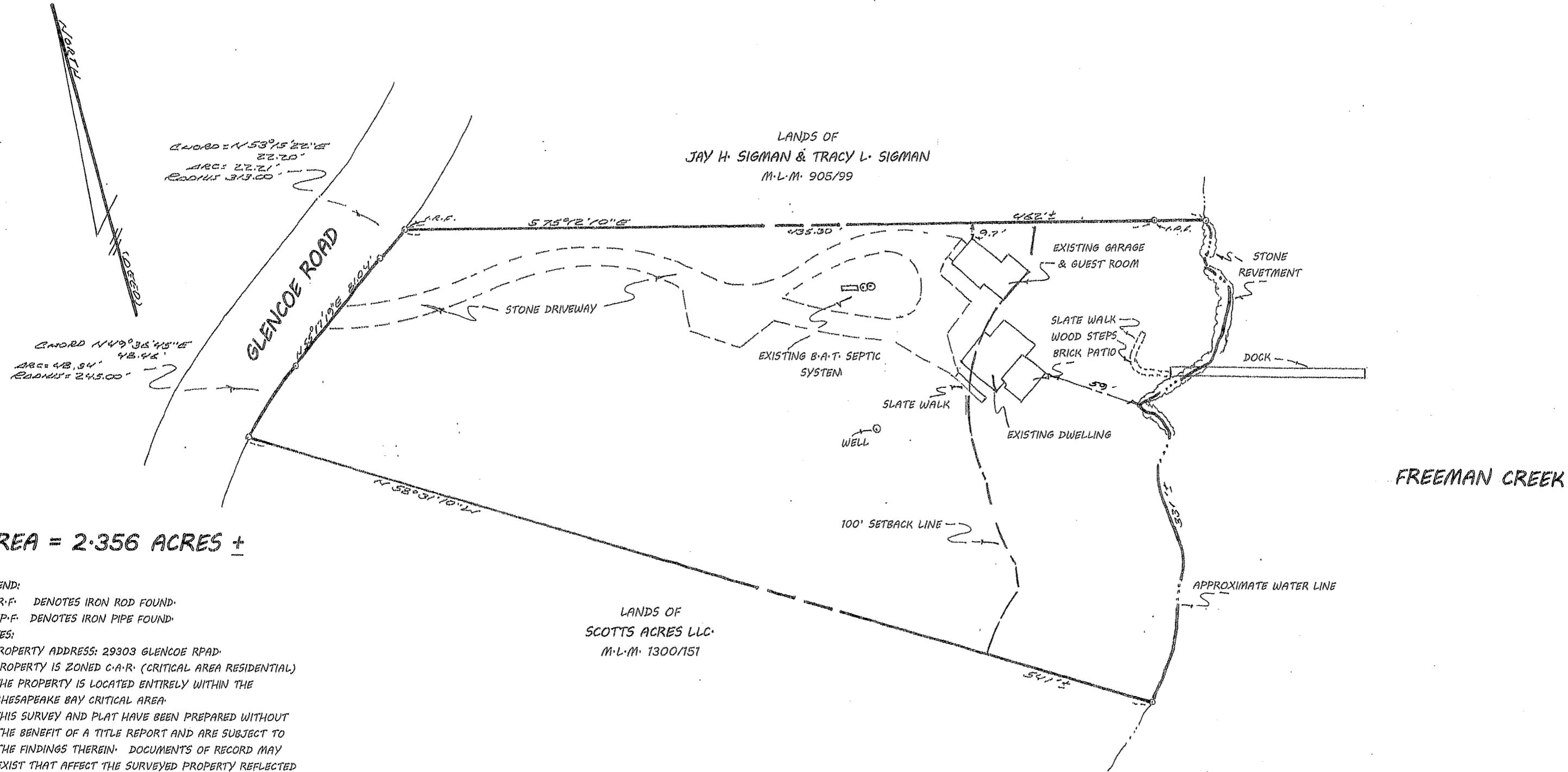
PO BOX 211 CHRISTIAN PARK, MARYLAND
 410-778-4500

VANON VANWERP
 Remodel

Preliminary Remodel Floor Plan

SCALE: 1/4" = 1'-0"

(P.1)



AREA = 2.356 ACRES ±

- LEGEND:**
- 1. I.R.F. DENOTES IRON ROD FOUND.
 - 2. I.P.F. DENOTES IRON PIPE FOUND.
- NOTES:**
- 1. PROPERTY ADDRESS: 29303 GLENCOE ROAD.
 - 2. PROPERTY IS ZONED C.A.R. (CRITICAL AREA RESIDENTIAL.)
 - 3. THE PROPERTY IS LOCATED ENTIRELY WITHIN THE CHESAPEAKE BAY CRITICAL AREA.
 - 4. THIS SURVEY AND PLAT HAVE BEEN PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT AND ARE SUBJECT TO THE FINDINGS THEREIN. DOCUMENTS OF RECORD MAY EXIST THAT AFFECT THE SURVEYED PROPERTY REFLECTED HEREON INCLUDING BUT NOT LIMITED TO EASEMENTS, ENCUMBRANCES, RESTRICTIVE COVENANTS AND PLAT RESTRICTIONS.

SURVEYORS CERTIFICATION:
 I HEREBY CERTIFY THAT TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, INFORMATION AND BELIEF, THE BOUNDARY SURVEY SHOWN HEREON WAS PREPARED BY THE UNDERSIGNED REGISTERED SURVEYOR AND IS IN COMPLIANCE WITH THE REQUIREMENTS STATED IN REGULATION 09-13-06.12 OF THE MINIMUM STANDARDS FOR SURVEYORS.

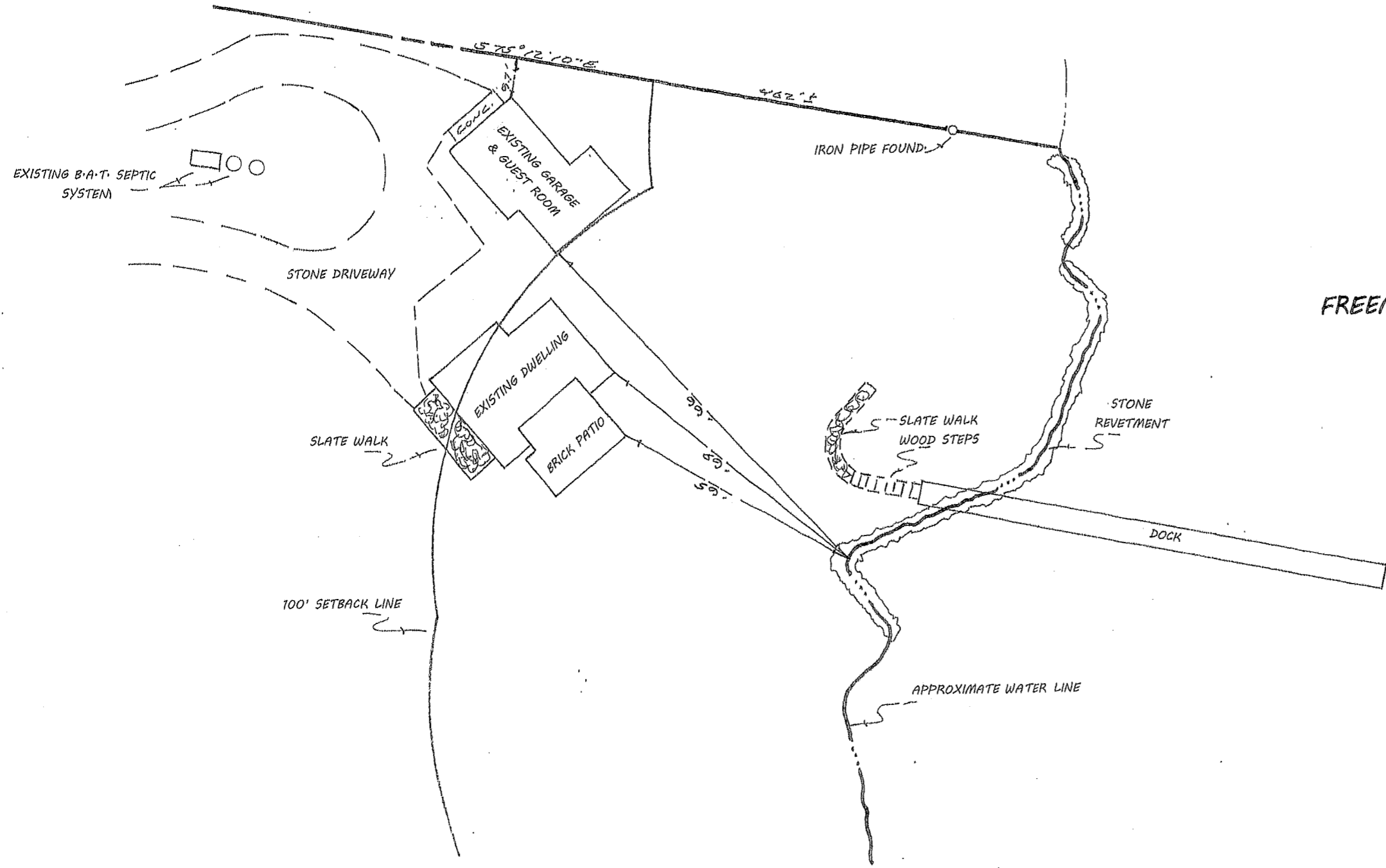
[Signature]
 PROPERTY LINE SURVEYOR
 EXPIRES 11-03-2024

EXISTING CONDITIONS PLAT
 ON THE LANDS OF
SHEILA BETH VANANTWERP, TRUSTEE
 AND
FRANK JOSEPH LAMONT, JR., TRUSTEE
 SECOND ELECTION DISTRICT, KENT COUNTY, MARYLAND
 SCALE 1" = 60'
 JUNE 2024

WILLIAM M. CROWDING SURVEYS, LLC
 REGISTERED SURVEYOR
 WORTON, MARYLAND
 410-778-2622



LANDS OF
JAY H. SIGMAN & TRACY L. SIGMAN
M.L.M. 905/99



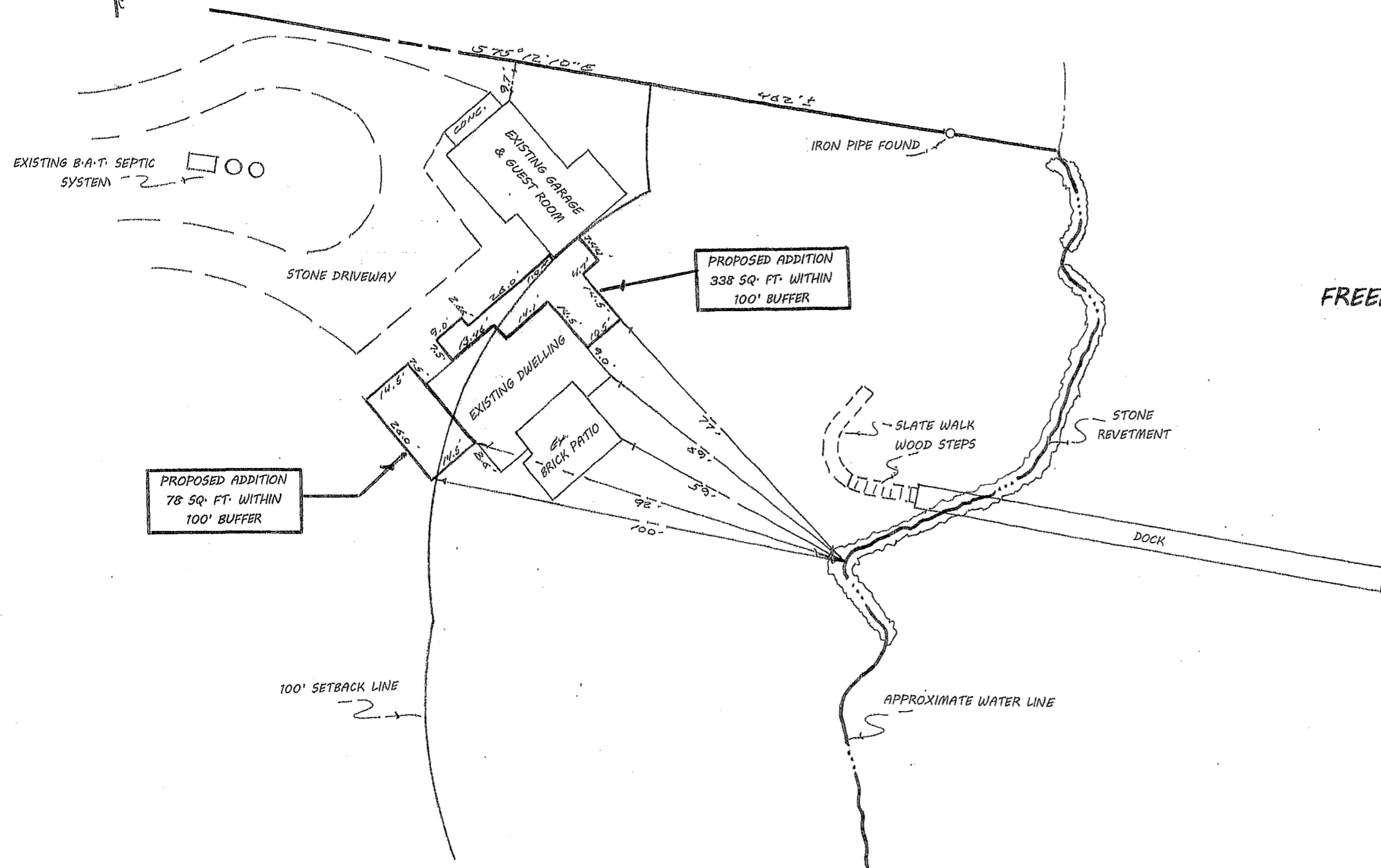
FREEMAN CREEK

EXISTING CONDITIONS PLAT
ON THE LANDS OF
SHEILA BETH VANANTWERP, TRUSTEE
AND
FRANK JOSEPH LAMONT, JR., TRUSTEE
SECOND ELECTION DISTRICT, KENT COUNTY, MARYLAND
SCALE 1" = 30'
JUNE 2024

WILLIAM M. CROWDING SURVEYS, LLC
REGISTERED SURVEYOR
WORTON, MARYLAND
410-778-2622



LANDS OF
JAY H. SIGMAN & TRACY L. SIGMAN
M.L.M. 905/99



FREEMAN CREEK

PROPOSED CONDITIONS PLAT
ON THE LANDS OF
SHEILA BETH VANANTWERP, TRUSTEE
AND
FRANK JOSEPH LAMONT, JR., TRUSTEE
SECOND ELECTION DISTRICT, KENT COUNTY, MARYLAND
SCALE 1" = 30' JUNE 2024

WILLIAM M. CROWDING SURVEYS, LLC
REGISTERED SURVEYOR
WORTON, MARYLAND
410-778-2622